

H - Site Plans



I - Civil Plans

Site Plans

Issued for Local Approvals

Date Issued September 28, 2018

Latest Issue September 28, 2018

Alta XMBLY

290 Revolution Drive Somerville, Massachusetts

Owner:

CDNV Assembly, LLC c/o John Baxter & Ed Nardi Cresset Development 120 Water Street Boston, MA 02109 Phone: (617) 624-9100

Co-Owner:

Somerville Office Associates Limited Partnership c/o Michael M. Ades 810 Seventh Avenue, 10th Floor New York City, NY 10019 Phone: (212) 265-6600

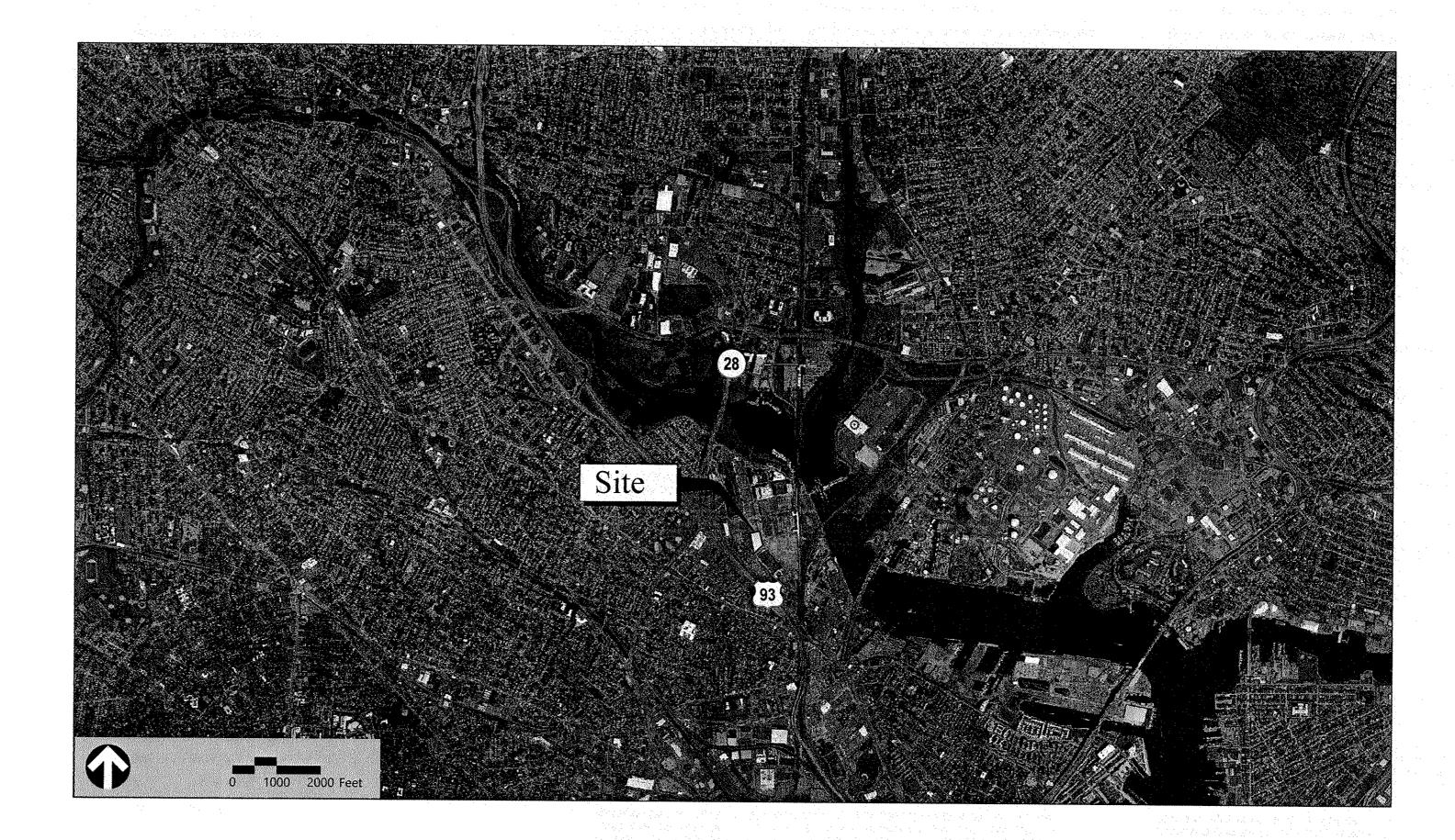
Applicant:

WP East Acquisitions, L.L.C. 91 Hartwell Avenue Lexington, MA 02421 Phone: (781) 541-5821

WOOD

Assessor's Map: 88 and 99 Lot: 88-A-1 and 99-A-15

Zoning District: Assembly Square Mixed-Use District (ASMD)



No.	Drawing Title	Latest Issue
C-1	Legend and General Notes	September 28, 2018
C-2	Neighborhood Context Map	September 28, 2018
C-3	Overall Site Plan	September 28, 2018
C-4	Layout and Materials Plan	September 28, 2018
C-5	Grading, Drainage, and Erosion Control Plan	September 28, 2018
C-6	Utility Plan	September 28, 2018
C-7	Site Details	September 28, 2018
C-8	Site Details	September 28, 2018
C-8	Site Details	September 28,

No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	November 28, 2017
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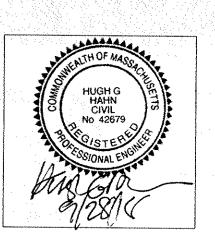
101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

Architect

The Architectural Team, Inc (TAT)
50 Commandant's Way at Admiral Hill
Chelsea, MA 02150
Phone: (617) 889-4402

Landscape Architect

Copley-Wolff
Design Group (CWDG)
10 Post Office Square
Suite 1315
Boston, MA 02109
Phone: (617) 654-9000



PROPERTY LINE

PROJECT LIMIT LINE

BUILDING SETBACK

EASEMENT

RIGHT-OF-WAY/PROPERTY LINE

Prop.

Exist.

Exist.

Prop.

\$078\$

CONCRETE

BUILDINGS

RIPRAP

HEAVY DUTY PAVEMENT

CONSTRUCTION EXIT

ACCESSIBLE CURB RAMP

VAN-ACCESSIBLE PARKING

ACCESSIBLE PARKING

		Abbreviations
	General	
	ABAN	ABANDON
	ACR	ACCESSIBLE CURB RAMP
	ADJ	ADJUST
	APPROX	APPROXIMATE
	BIT	BITUMINOUS
	BS	BOTTOM OF SLOPE
	BWLL	BROKEN WHITE LANE LINE - 4" (10' LINE, 30' SPACE
	CONC	CONCRETE
	DWLL	DOTTED WHITE LANE LINE - 4" (3' LINE, 9' SPACE)
	DYCL	DOUBLE YELLOW CENTER LINE
	EL	ELEVATION
	ELEV	ELEVATION
	EX	EXISTING
	FDN	FOUNDATION
	FFE	FIRST FLOOR ELEVATION
	GC	GRANITE CURB
	GRAN	GRANITE
	GTD	GRADE TO DRAIN
	LA	LANDSCAPE AREA
	LOD	LIMIT OF DISTURBANCE
	MAX	MAXIMUM
	MIN	MINIMUM
	NIC	NOT IN CONTRACT
	NTS	NOT TO SCALE
	PERF	PERFORATED
	PROP	PROPOSED
	REM	REMOVE
	RET	RETAIN
	R&D	REMOVE AND DISPOSE
	R&R	REMOVE AND RESET
	SWEL	SOLID WHITE EDGE LINE
	SWLL	SOLID WHITE LANE LINE
	SYEL	SOLID YELLOW EDGE LINE
	TS	TOP OF SLOPE
	TYP	TYPICAL
	111	TITICAL
	Utility	
-	СВ	CATCH BASIN
	CMP	CORRUGATED METAL PIPE
	CO	CLEANOUT
		DOUBLE CATCH BASIN
	DMH	DRAIN MANHOLE
	CIP	CAST IRON PIPE
	COND	CONDUIT
	DIP	DUCTILE IRON PIPE
	FES	FLARED END SECTION
	FM	FORCE MAIN
	F&G	FRAME AND GRATE
	F&C	FRAME AND COVER
	GI	GUTTER INLET
	GT	
		GREASE TRAP
	HDPE	HIGH DENSITY POLYETHYLENE PIPE
	НН	HANDHOLE
	HW	HEADWALL
	HYD	HYDRANT
	INV	INVERT ELEVATION
	 =	INVERT ELEVATION
	LP	LIGHT POLE
	MES	METAL END SECTION
	PIV	POST INDICATOR VALVE
	PWW	PAVED WATER WAY
	PVC	POLYVINYL CHLORIDE PIPE
	RCP	REINFORCED CONCRETE PIPE
	RCP R=	REINFORCED CONCRETE PIPE RIM ELEVATION
	R=	RIM ELEVATION

UNDERGROUND

WATER QUALITY UNIT

UTILITY POLE

Notes

General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.

LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS.
 WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE

HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

- 7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- 2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- 5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC..). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
- A. WATER PIPES SHALL BE CEMENT LINED DUCTILE IRON (DIP) CLASS 52
- B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
- C. STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP). ALL PIPES 18 INCHES AND SMALLER SHALL BE CLASS V. ALL OTHER PIPES SHALL BE CLASS III UNLESS INDICATED OTHERWISE ON THE PLANS.
- D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE FIVE (5) FEET.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE THREE (3) FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS; AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- 2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE
 AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS
 IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- 1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER 2017 AND FROM DEEDS AND PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. IN OCTOBER 2017.
- 2. TOPOGRAPHY: HORIONTAL DATUM ARE BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THE PLANS HEREON REFER TO NGVD OF 1929.

Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Alta XMBLY

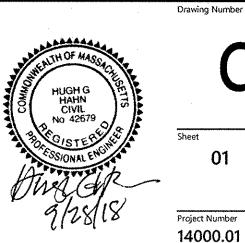
290 Revolution Drive Somerville, Massachusetts

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Not Approved for Construction

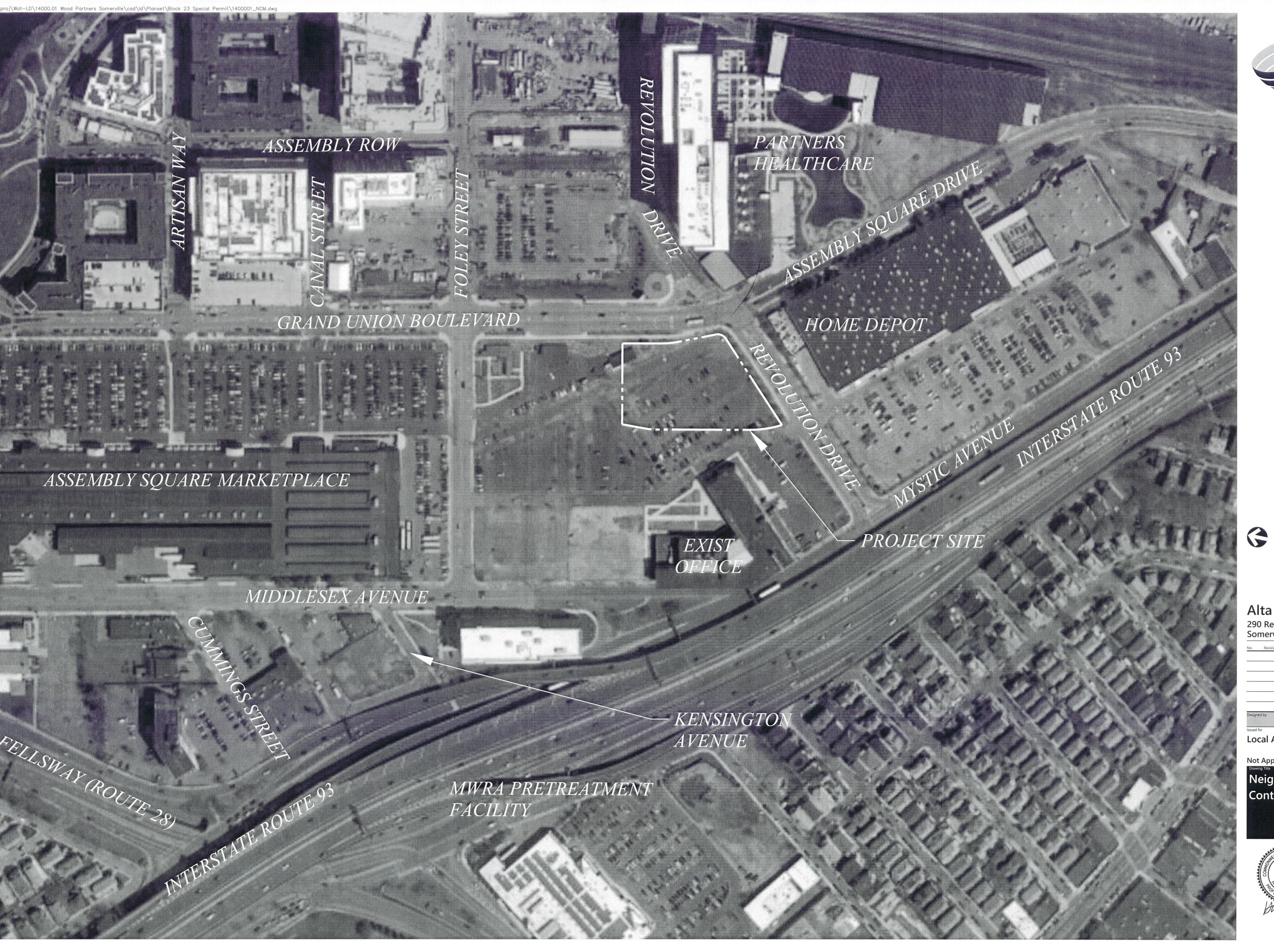
Local Approvals

Legend and
General Notes



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September 28, 2018

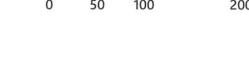




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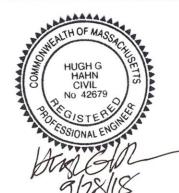
290 Revolution Drive Somerville, Massachusetts

Designed by	Checked by
	建设在企业中发展的基础的影响。
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Local Approvals	September 28, 2018
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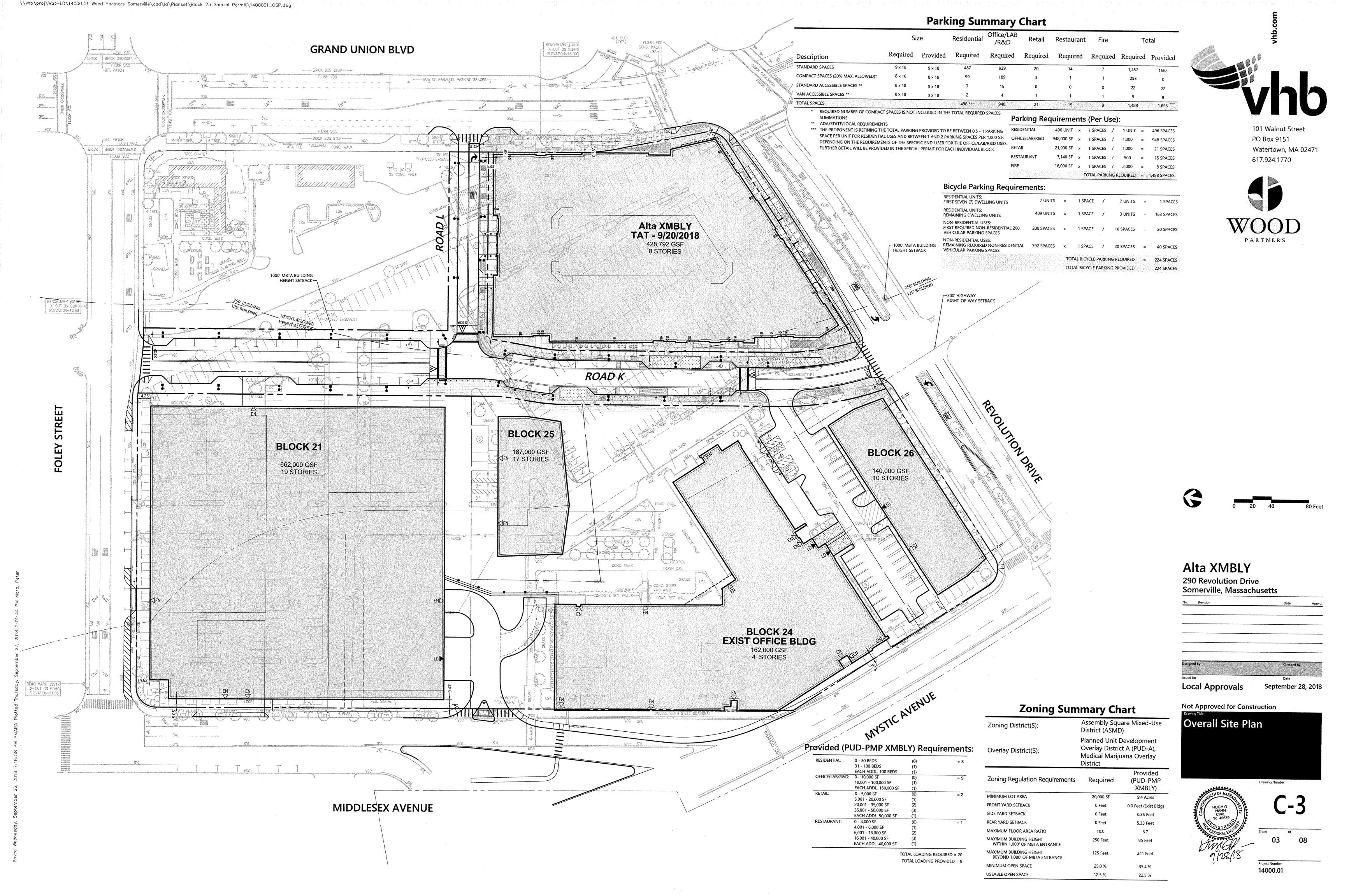
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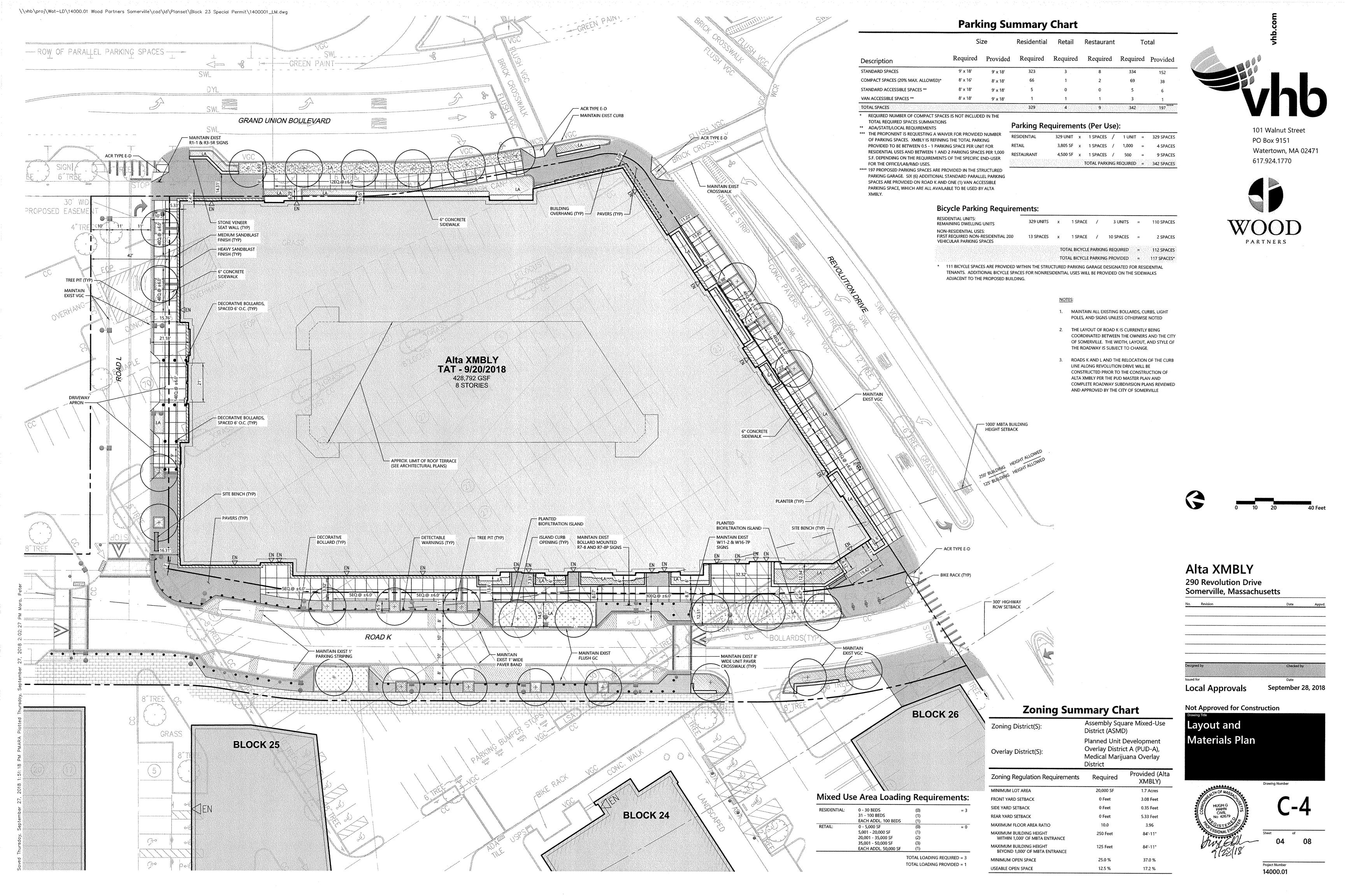
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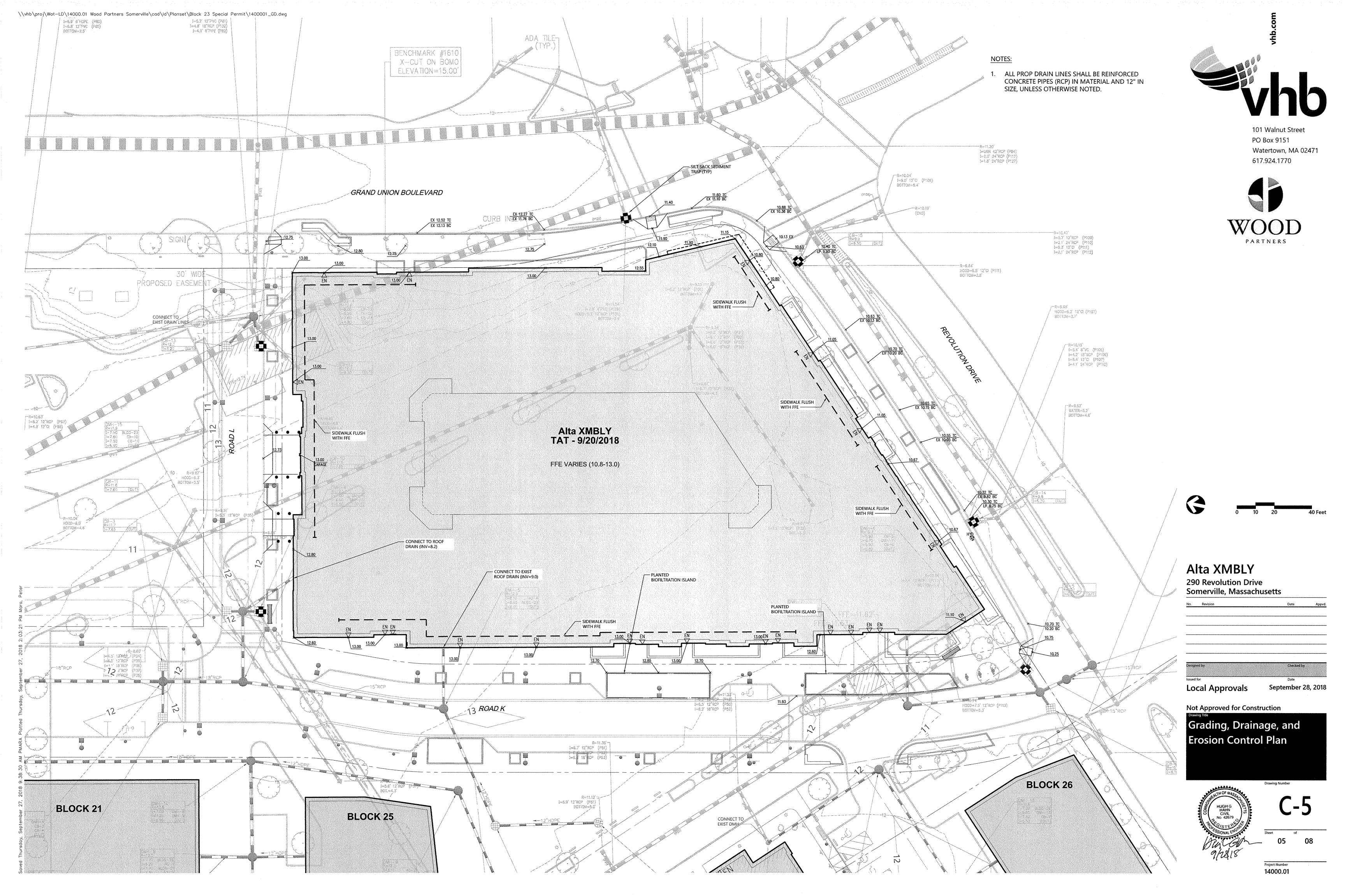
Neighborhood Context Map

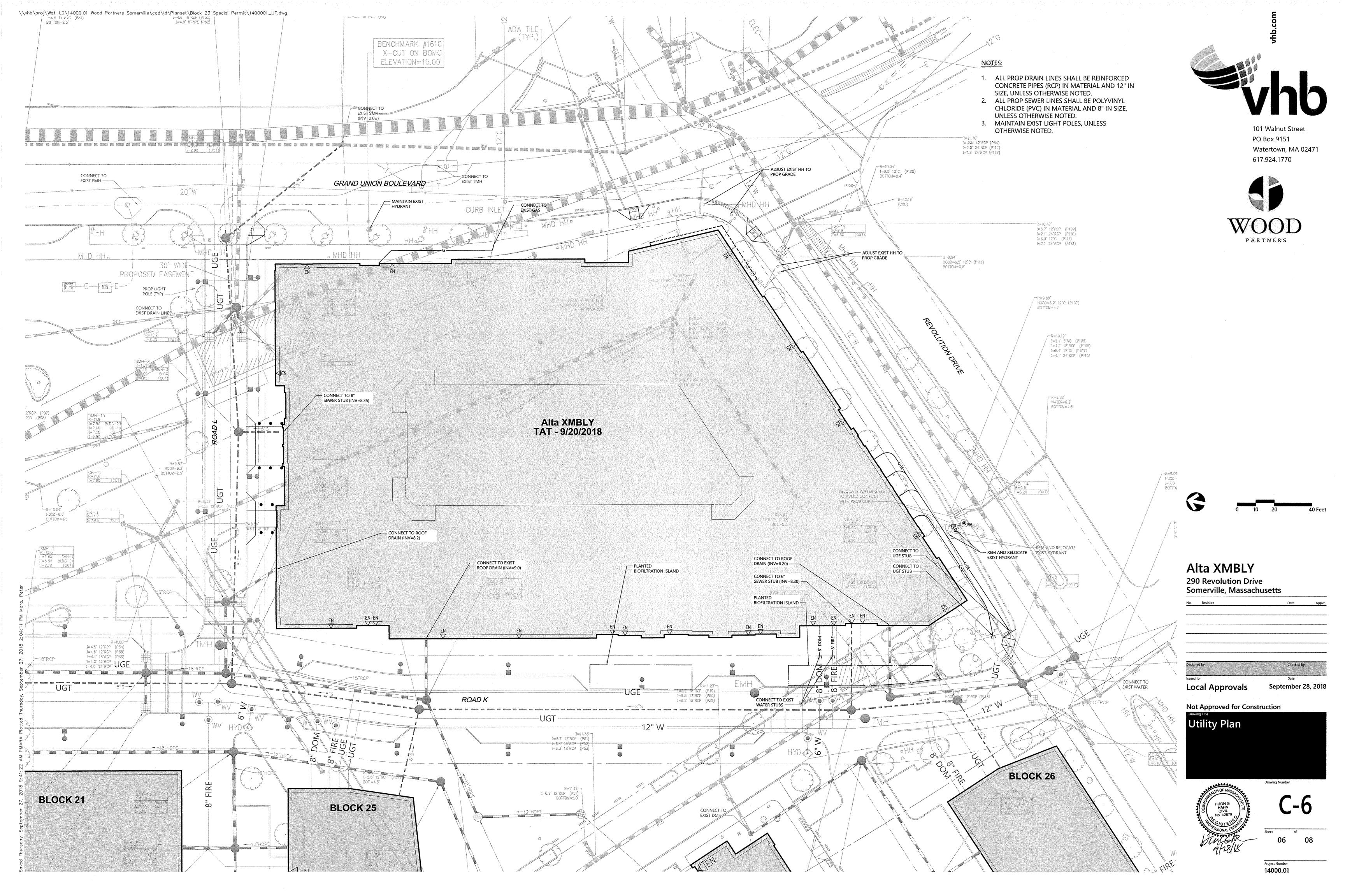


Project Number 14000.01









*DIMENSIONS ARE CENTER TO CENTER 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).

2.35" (TYP.)*

TRUNCATED DOMES

(PLAN VIEW)

- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
- 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
- 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE. 12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb Ramp (ACR) Type 'E-D'

LD_504

BOTTOM OF DRIVEWAY TO BE SET 1/2" LIP ABOVE ROAD SURFACE ACCESSIBLE WALKWAY ACCESSIBLE ROUTE

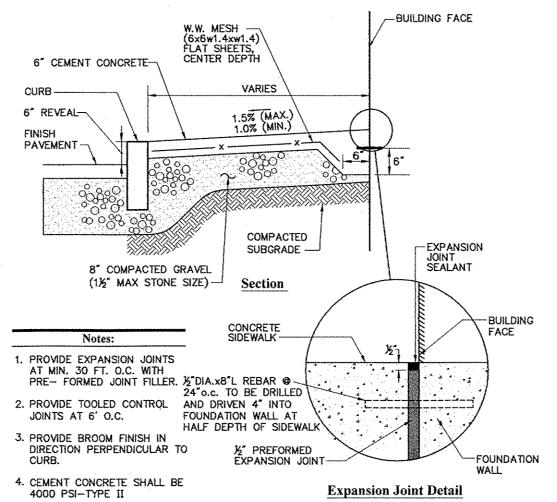
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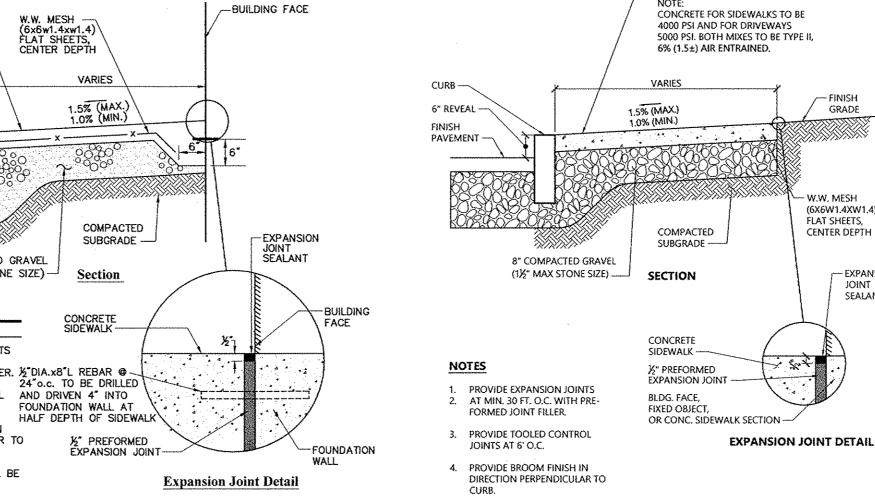
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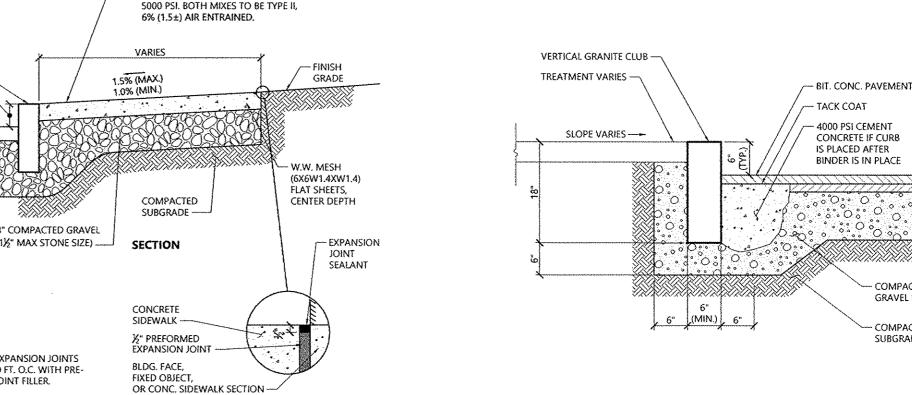
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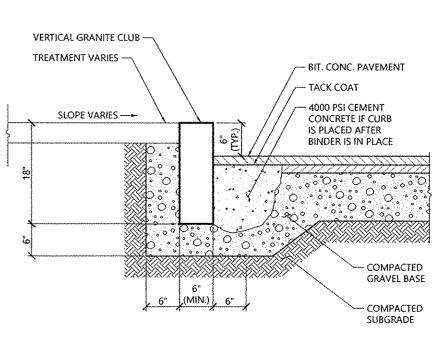
Driveway Apron with Sidewalk

N.T.S.









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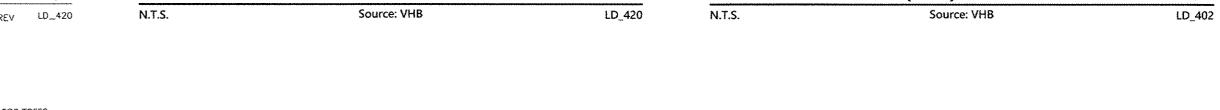


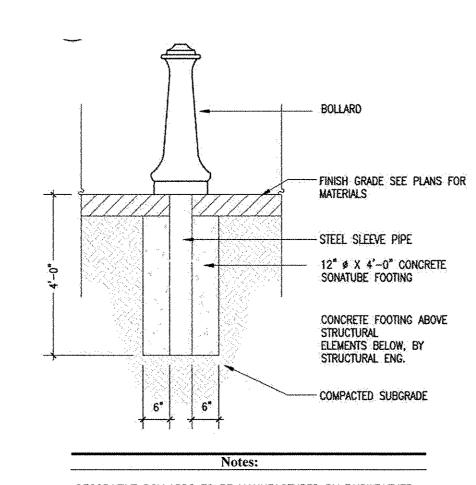
Concrete Sidewalk at Building Face N.T.S. REV LD_420

> HARDWOOD STAKES OR DEADMEN (TYP.)

Concrete Sidewalk N.T.S.

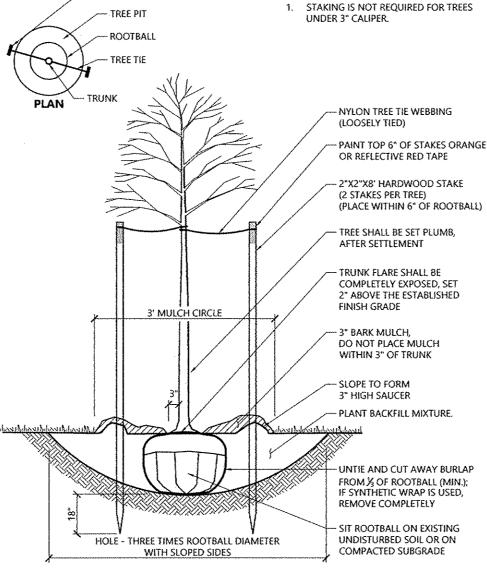
Vertical Granite Curb (VGC) 1/16 Source: VHB LD_420 N.T.S.



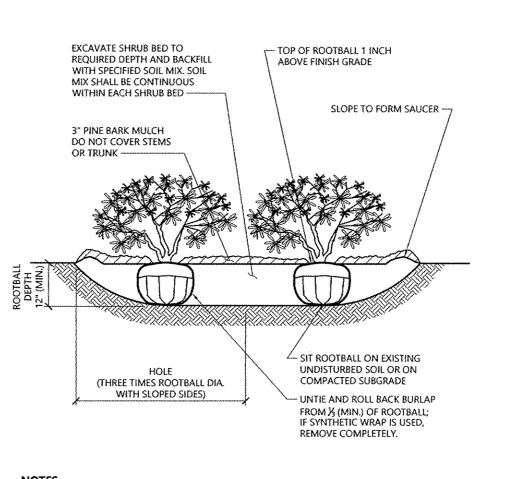


DECORATIVE BOLLARDS TO BE MANUFACTURED BY FAIRWEATHER SITE FURNISHINGS, MODEL B-8B SERIES (OR OWNER/ARCHTECT APPROVED EQUIVALENT), WITH A POWDERCOAT FINISH, COLOR TO BE BLACK, AND HAVE AN EMBEDDED MOUNT.

Decorative Bollard N.T.S. Source: VHB



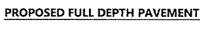
Tree Planting (For Trees Under 4" Caliper) N.T.S. LD_602



- 4" CEMENT CONCRETE (6" THICK IN VEHICULAR AREAS)

1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting 1/16 N.T.S. Source: VHB LD_601



4" HOT MIX ASPHALT (2" SURFACE COURSE TYPE B OVER 2" INTERMEDIATE COURSE TYPE B).

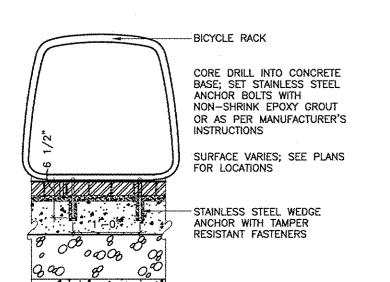
> 4" HOT MIX ASPHALT BASE COURSE MATERIAL PLACED IN ONE COURSE.

4" DENSE GRADED CRUSHED STONE FOR SUB-BASE OVER

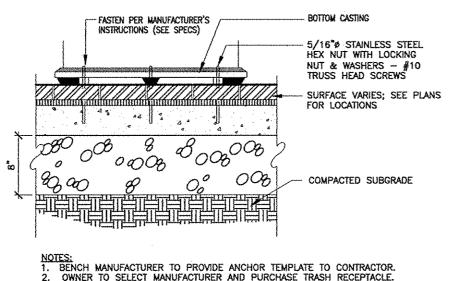
8" GRAVEL BORROW, TYPE b.

BITUMEN FOR TACK COAT (RS-1) AT 0.05 GAL/SY OVER BASE AND BINDER COURSES

Bituminous Concrete Pavement Section N.T.S. Source: VHB



NOTE:
1. OWNER TO SELECT MANUFACTURER AND PURCHASE BICYCLE THE LOCATION OF SITE FURNITURE SHALL BE STAKED IN THE FIELD AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.



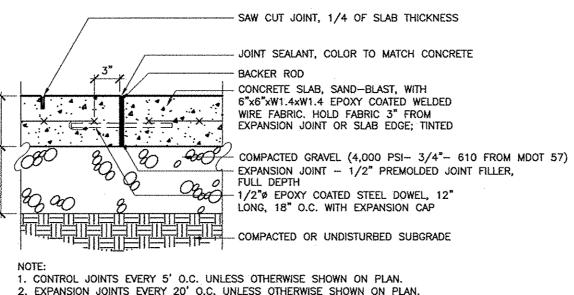
NOTES:

1. BENCH MANUFACTURER TO PROVIDE ANCHOR TEMPLATE TO CONTRACTOR.

2. OWNER TO SELECT MANUFACTURER AND PURCHASE TRASH RECEPTACLE.

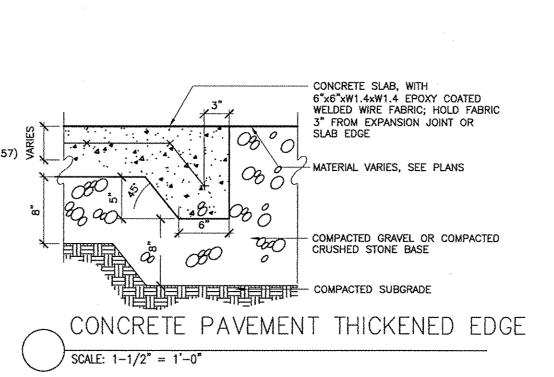
3. THE LOCATION OF SITE FURNITURE SHALL BE STAKED IN THE FIELD AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

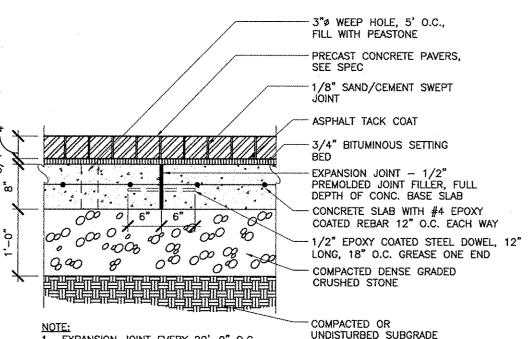
TRASH RECEPTACLE MOUNTING SCALE: 1-1/2"=1'-0"



2. EXPANSION JOINTS EVERY 20' O.C. UNLESS OTHERWISE SHOWN ON PLAN. WHERE NEW CONCRETE MEETS EXISTING CONCRETE, CORE DRILL EXISTING CONCRETE TO RECEIVE STEEL DOWEL.

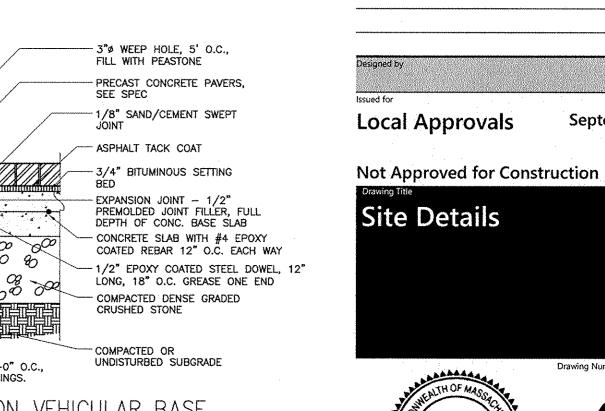
6" CONCRETE PAVEMENT SCALE: 1-1/2"=1'-0"

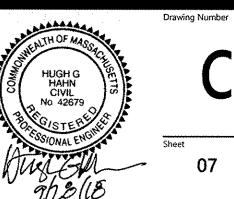




 EXPANSION JOINT EVERY 20'-0" O.C., OR AS SHOWN ON THE DRAWINGS. UNIT PAVERS ON VEHICULAR BASE

SCALE: 1"=1'-0"





Alta XMBLY

290 Revolution Drive

Somerville, Massachusetts

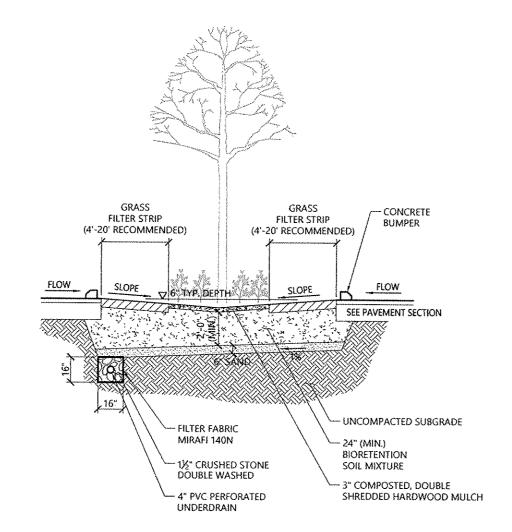
September 28, 2018

Project Number 14000.01

\\vnb\proj\Wat-LD\14000.01 Wood Partners Somerville\cad\ld\Planset\Block 23 Special Permit\1400001_DT.dwg

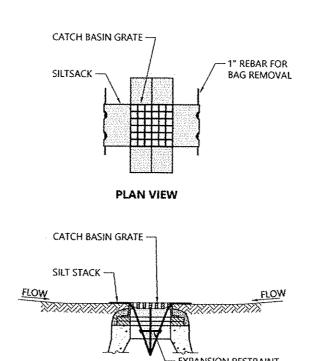
- SILTSOCK SHALL BE FILTREXX SILTSOXX, OR APPROVED EQUAL.
- SILTSOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
- 3. SILTSOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY
- 4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE
- 5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock -	Erosion Control Barrier	1/16
N.T.S.	Source: VHB	LD_658



- PLANTED SWALE WIDTH AND PLANTINGS PER LANDSCAPE PLAN.
- SIDE SLOPES SHALL BE 3:1 MAX. 2% MIN.

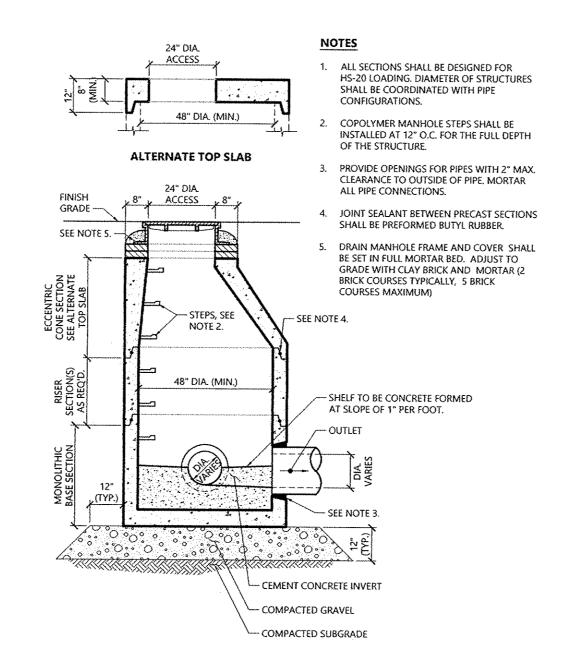
Planted	Biofiltration Island with Under	drain 1/16
N.T.S.	Source: VHB	LD_357



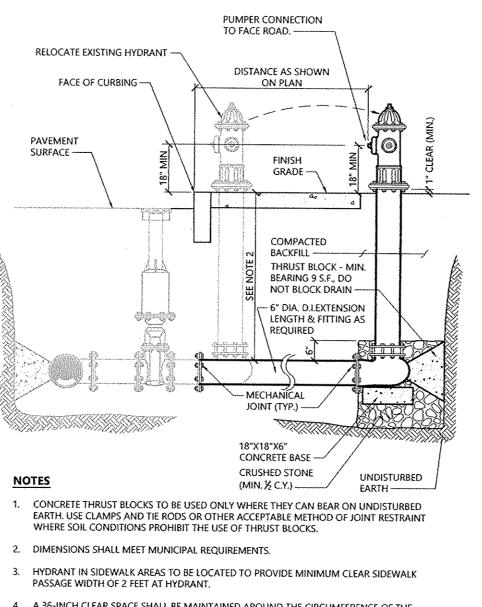
SECTION VIEW

- 1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
- GRATE TO BE PLACED OVER SILTSACK.
- 3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL. STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN

Siltsack Sediment Trap N.T.S. LD_674



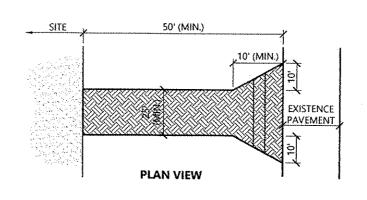
Drain Manhole (DMH) N.T.S. Source: VHB LD_115 (FOR REFERENCE ONLY)

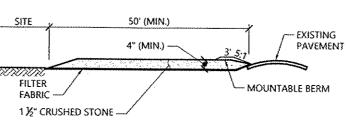


A 36-INCH CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT UNLESS OTHERWISE APPROVED BY AUTHORITY HAVING JURISDICTION.

N.T.S.

Hydrant Relocation Detail Concrete Thrust Block LD_251





Stabilized Construction Exit

ALTERNATE ECCENTRIC CONE SECTION

ALTERNATE TOP SLAB

900000

OIL/DEBRIS

Catch Basin (CB) With Oil/Debris Trap

Source: VHB

(FOR REFERENCE ONLY)

TABLE OF DIMENSIONS

BENDS B C D E F BENDS B C D E F

TABLE OF DIMENSIONS

1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES,

2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.

ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.

3. CONCRETE SHALL BE 3,000 PSI-TYPE I.

AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE

12"X12"X8"

12"X12"X12"

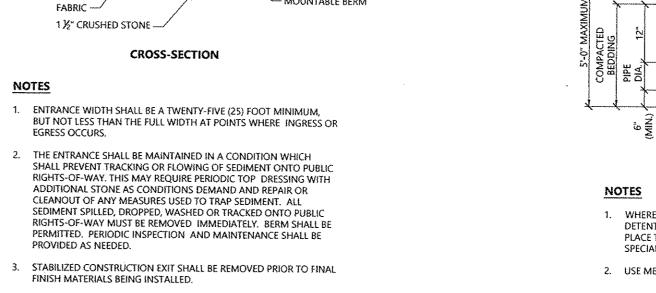
12" 24" 24" 18" 12"X12"X6"

8"X8"X6"

SEE NOTE 4.

- RIGHTS-OF-WAY, THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE

Source: VHB



ALL SECTIONS SHALL BE DESIGNED FOR

PROVIDE OPENINGS FOR PIPES WITH 2"

MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.

JOINT SEALANT BETWEEN PRECAST

SECTIONS SHALL BE PREFORMED BUTYL

4. CATCH BASIN FRAME AND GRATE SHALL BE

SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2

BRICK COURSES TYPICALLY, 5 BRICK

COURSES MAXIMUM).

- COMPACTED GRAVEL - COMPACTED SUBGRADE

SECTION 1-1

SECTION 2-2

HS-20 LOADING.

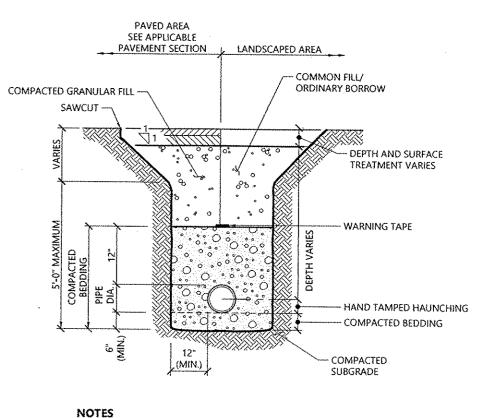
1/16

LD_682

1/16

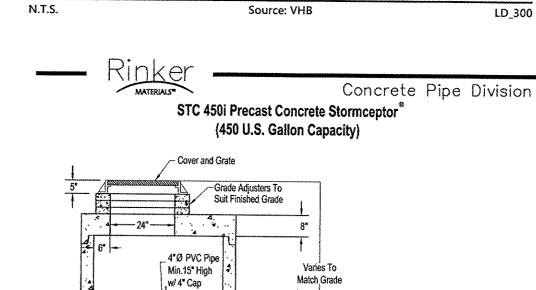
LD_101

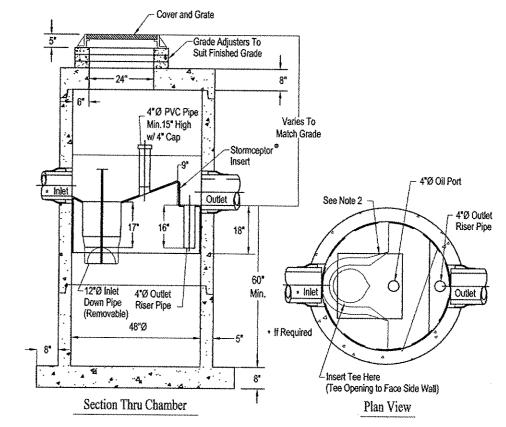
LD_260



- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
- 2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

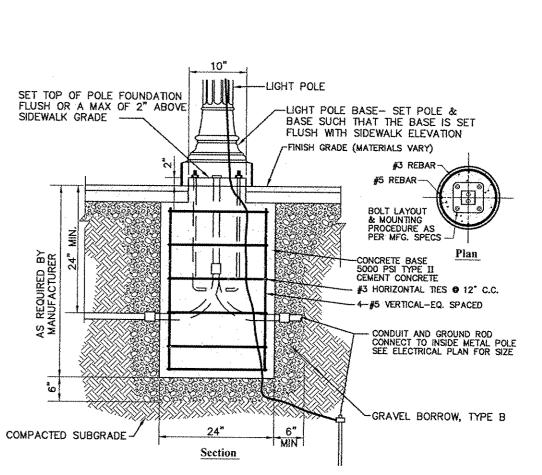
Utility Trench





1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable. 2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690. 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

WQU - Stormceptor 450i (or Approved Equal) N.T.S. (FOR REFERENCE ONLY)



1. LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION. **Light Pole Foundation Detail**

101 Walnut Street

Watertown, MA 02471

PO Box 9151

617.924.1770

PARTNERS

Alta XMBLY

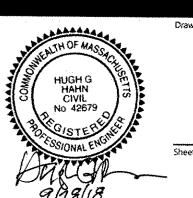
290 Revolution Drive

Somerville, Massachusetts

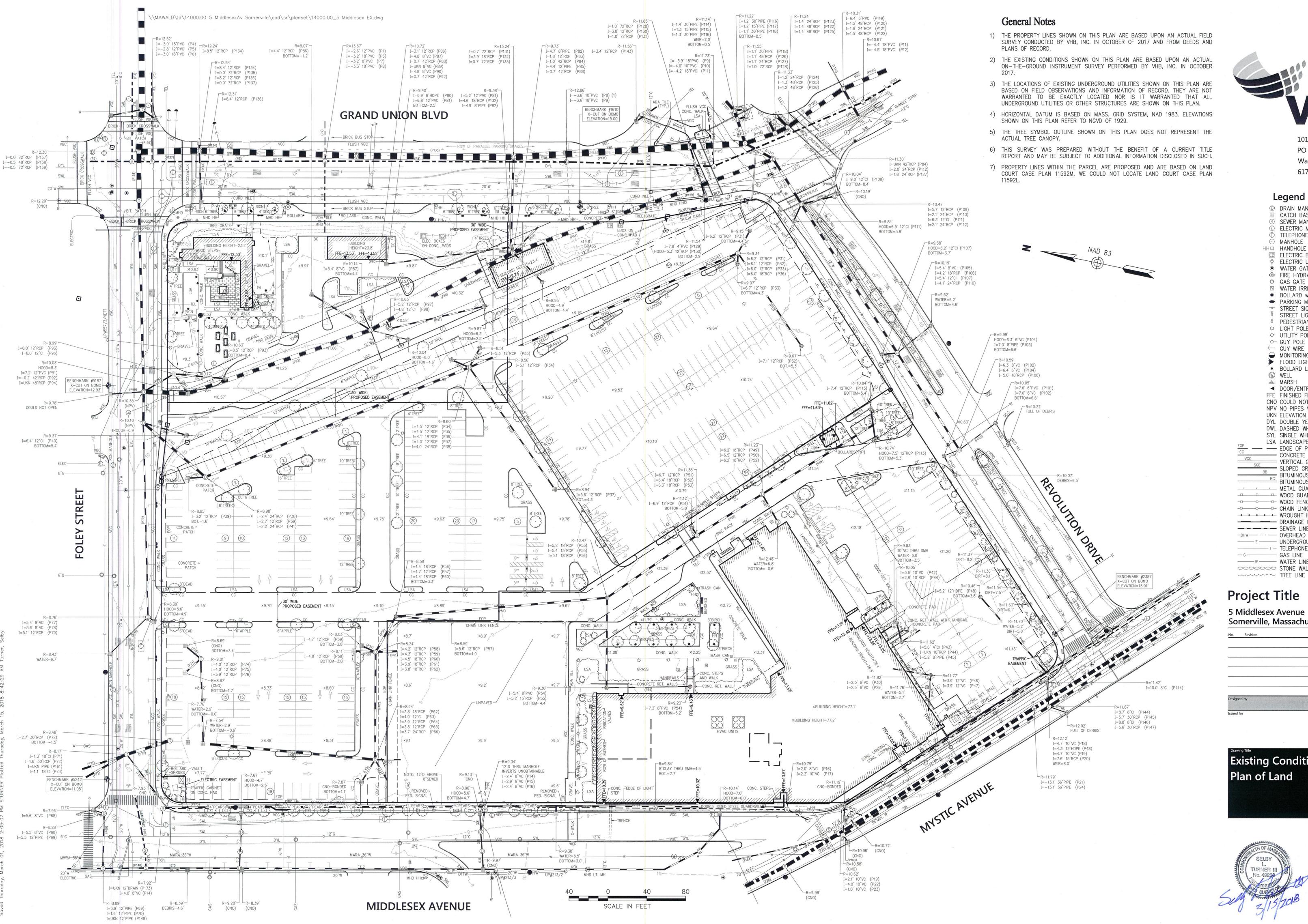
ocal Approvals	September 28, 20
	Chesked by
esigned by	Checked by

Not Approved for Construction

Site Details



Project Number 14000.01





101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

Legend DRAIN MANHOLE **EXECUTE** CATCH BASIN S SEWER MANHOLE ELECTRIC MANHOLE TELEPHONE MANHOLE MANHOLE HH HANDHOLE EB ELECTRIC BOX ♥ ELECTRIC UF PLUG BOX WATER GATE FIRE HYDRANT O GAS GATE WATER IRRIGATION VALVE ■ BOLLARD w/LIGHT PARKING METER STREET SIGN 8 STREET LIGHT SIGNAL PEDESTRIAN LIGHT SIGNAL □ LIGHT POLE UTILITY POLE O- GUY POLE MONITORING WELL ▶ FLOOD LIGHT **★** BOLLARD LIGHT W WELL WARSH ■ DOOR/ENTRANCE FFE FINISHED FLOOR ELEVATION CNO COULD NOT OPEN NPV NO PIPES VISIBLE UKN ELEVATION UNKNOWN DYL DOUBLE YELLOW LINE DWL DASHED WHITE LINE SYL SINGLE WHITE LINE LSA LANDSCAPED AREA --- EDGE OF PAVEMENT CONCRETE CURB VERTICAL GRANITE CURB SLOPED GRANITE EDGE BITUMINOUS BERM BITUMINOUS CURB METAL GUARDRAIL GAS LINE - WATER LINE OOOOOO STONE WALL

Project Title

5 Middlesex Avenue Somerville, Massachusetts

lo.	Revision	Date	Appvd.
		1 9	
	21		
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esigned b	y	Checked by	
sued for		Date	
3000 101		November 28	, 2017

Existing Conditions Plan of Land

