



H - Site Plans



I – Civil Plans

Site Plans

Issued for	Local Approvals
Date Issued	September 28, 2018
Latest Issue	September 28, 2018

Alta XMBLY

290 Revolution Drive
Somerville, Massachusetts



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Architect

The Architectural Team, Inc (TAT)
50 Commandant's Way at Admiral Hill
Chelsea, MA 02150
Phone: (617) 889-4402

Landscape Architect

Copley-Wolff
Design Group (CWDG)
10 Post Office Square
Suite 1315
Boston, MA 02109
Phone: (617) 654-9000

Owner:

CDNV Assembly, LLC
c/o John Baxter & Ed Nardi
Cresset Development
120 Water Street
Boston, MA 02109
Phone: (617) 624-9100

Co-Owner:

Somerville Office Associates Limited Partnership
c/o Michael M. Ades
810 Seventh Avenue, 10th Floor
New York City, NY 10019
Phone: (212) 265-6600

Applicant:

WP East Acquisitions, L.L.C.
91 Hartwell Avenue
Lexington, MA 02421
Phone: (781) 541-5821



Assessor's Map: 88 and 99

Lot: 88-A-1 and 99-A-15

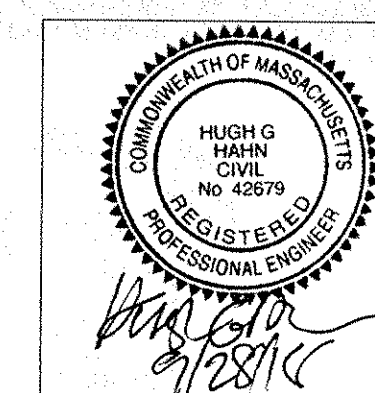
Zoning District: Assembly Square Mixed-Use District (ASMD)

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No.	Drawing Title	Latest Issue
C-1	Legend and General Notes	September 28, 2018
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Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	November 28, 2017



Matchline

Utility

General

- ## Utilities

8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED STEWWORK RELATED ITEMS SUCH AS PULL BOXES, JUNCTION BOXES, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE FIVE (5) FEET.

- ## Layout and Materials

- ## Demolition

- ## Erosion Control

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS ANY DEFICIENCIES IDENTIFIED WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER 2017 AND FROM DEEDS AND PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. IN OCTOBER 2017.
2. TOPOGRAPHY: HORIZONTAL DATUM ARE BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THE PLANS HEREON REFER TO NGVD OF 1929.

Document Use

1. THESE PLANS AND CORRESPONDING CAD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED REPRODUCTION, REUSE, MODIFICATION, OR ALTERATION OF ANY AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAILED SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



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PARTNERS

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Legend and General Notes

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Sheet 01 of 08

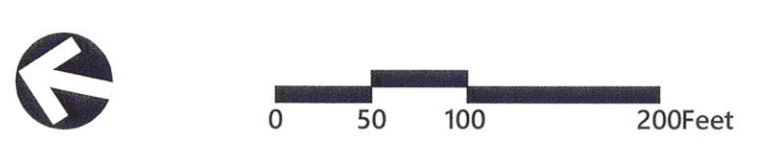
Project Number
14000.01



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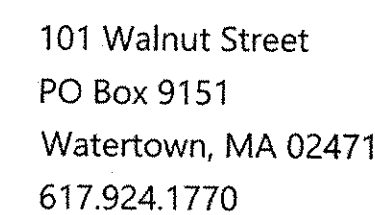
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Drawing Title
**Neighborhood
Context Map**



Sheet **C-2** of 08

Project Number
14000.01



Description	Size		Residential	Office/LAB R/D	Retail	Restaurant	Fire	Total	
	Required	Provided	Required	Required	Required	Required	Required	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	487	929	20	14	7	1,457	1662
COMPACT SPACES (20% MAX. ALLOWED)*	8 x 16	8 x 18	99	189	3	1	1	293	0
STANDARD ACCESSIBLE SPACES **	8 x 18	9 x 18	7	15	0	0	0	22	22
VAN ACCESSIBLE SPACES **	8 x 18	9 x 18	2	4	1	1	1	9	9
TOTAL SPACES			496 ***	948	21	15	8	1,488	1,693 **

* REQUIRED NUMBER OF COMPACT SPACES IS NOT INCLUDED IN THE TOTAL REQUIRED SPACES SUMMATIONS

** ADA/STATE/LOCAL REQUIREMENTS

*** THE PROPORTION IS REFINING THE TOTAL PARKING PROVIDED TO BE BETWEEN 0.5 - 1 PARKING SPACE PER UNIT FOR RESIDENTIAL USES AND BETWEEN 1 AND 2 PARKING SPACES PER 1,000 S.F. DEPENDING ON THE REQUIREMENTS OF THE SPECIFIC END-USER FOR THE OFFICE/LAB/R&D USE. FURTHER DETAIL WILL BE PROVIDED IN THE SPECIAL PERMIT FOR EACH INDIVIDUAL BLOCK.

RESIDENTIAL	496 UNIT	x	1 SPACES	/	1 UNIT	=	496 SPACES
OFFICE/LAB/R&D	948,000 SF	x	1 SPACES	/	1,000	=	948 SPACES
RETAIL	21,000 SF	x	1 SPACES	/	1,000	=	21 SPACES
RESTAURANT	7,140 SF	x	1 SPACES	/	500	=	15 SPACES
FIRE	16,000 SF	x	1 SPACES	/	2,000	=	8 SPACES
TOTAL PARKING REQUIRED							= 1,488 SPACES

RESIDENTIAL UNITS: FIRST SEVEN (7) DWELLING UNITS	7 UNITS	x	1 SPACE	/	7 UNITS	=	1 SPACE
RESIDENTIAL UNITS: REMAINING DWELLING UNITS	489 UNITS	x	1 SPACE	/	3 UNITS	=	163 SPACES
NON-RESIDENTIAL USES: FIRST REQUIRED NON-RESIDENTIAL 200 VEHICULAR PARKING SPACES	200 SPACES	x	1 SPACE	/	10 SPACES	=	20 SPACES
NON-RESIDENTIAL USES: REMAINING REQUIRED NON-RESIDENTIAL VEHICULAR PARKING SPACES	792 SPACES	x	1 SPACE	/	20 SPACES	=	40 SPACES
					TOTAL BICYCLE PARKING REQUIRED	=	224 SPACES
					TOTAL BICYCLE PARKING PROVIDED	=	224 SPACES

FOLEY STREET

GRAND UNION BLVD

Alta XMBLY
TAT - 9/20/2018
428,792 GSF
8 STORIES

BLOCK 21
662,000 GSF
19 STORIES

BLOCK 25
187,000 GSF
17 STORIES

BLOCK 26
140,000 GSF
10 STORIES

BLOCK 24
EXIST OFFICE BLDG
162,000 GSF
4 STORIES

MIDDLESEX AVENUE

MYSTIC AVENUE

Zoning District(S):	Assembly Square Mixed-Use District (ASMD)
Overlay District(S):	Planned Unit Development Overlay District A (PUD-A), Medical Marijuana Overlay District

RESIDENTIAL:	0 - 30 BEDS	(0)	
	31 - 100 BEDS	(1)	= 8
	EACH ADDL. 100 BEDS	(1)	
OFFICE/LAB/R&D:	0 - 10,000 SF	(0)	
	10,001 - 100,000 SF	(1)	= 9
	EACH ADDL. 150,000 SF	(1)	
RETAIL:	0 - 5,000 SF	(0)	
	5,001 - 20,000 SF	(1)	= 2
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
RESTAURANT:	0 - 4,000 SF	(0)	
	4,001 - 6,000 SF	(1)	= 1
	6,001 - 16,000 SF	(2)	
	16,001 - 40,000 SF	(3)	
	EACH ADDL. 40,000 SF	(1)	
		TOTAL LOADING REQUIRED = 20	
		TOTAL LOADING PROVIDED = 20	

Zoning Regulation Requirements	Required	Provided (PUD-PMP XMBLY)
MINIMUM LOT AREA	20,000 SF	9.4 Acres
FRONT YARD SETBACK	0 Feet	0.0 Feet (Exist Bld)
SIDE YARD SETBACK	0 Feet	0.35 Feet
REAR YARD SETBACK	0 Feet	5.33 Feet
MAXIMUM FLOOR AREA RATIO	10.0	3.7
MAXIMUM BUILDING HEIGHT WITHIN 1,000' OF MBTA ENTRANCE	250 Feet	85 Feet
MAXIMUM BUILDING HEIGHT BEYOND 1,000' OF MBTA ENTRANCE	125 Feet	241 Feet
MINIMUM OPEN SPACE	25.0 %	35.4 %
USEABLE OPEN SPACE	12.5 %	32.5 %

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Overall Site Plan

Drawing Number

Sheet 03 of 08

Project Number
14000.01



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RESIDENTIAL	329 UNIT	x	1 SPACES	/	1 UNIT	=	329 SPACES
RETAIL	3,805 SF	x	1 SPACES	/	1,000	=	4 SPACES
RESTAURANT	4,500 SF	x	1 SPACES	/	500	=	9 SPACES
TOTAL PARKING REQUIRED						=	342 SPACES

RESIDENTIAL UNITS; REMAINING DWELLING UNITS	329 UNITS	x	1 SPACE	/	3 UNITS	=	110 SPACES
NON-RESIDENTIAL USES FIRST REQUIRED NON-RESIDENTIAL 200 VEHICULAR PARKING SPACES	13 SPACES	x	1 SPACE	/	10 SPACES	=	2 SPACES
			TOTAL BICYCLE PARKING REQUIRED			=	112 SPACES
			TOTAL BICYCLE PARKING PROVIDED			=	117 SPACES*

NOTES

1. MAINTAIN ALL EXISTING BOLLARDS, CURBS, LIGHT POLES, AND SIGNS UNLESS OTHERWISE NOTED
2. THE LAYOUT OF ROAD K IS CURRENTLY BEING COORDINATED BETWEEN THE OWNERS AND THE CITY OF SOMERVILLE. THE WIDTH, LAYOUT, AND STYLE OF THE ROADWAY IS SUBJECT TO CHANGE.
3. ROADS K AND L AND THE RELOCATION OF THE CURB LINE ALONG REVOLUTION DRIVE WILL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ALTA XMBLY PER THE PUD MASTER PLAN AND COMPLETE ROADWAY SUBDIVISION PLANS REVIEWED AND APPROVED BY THE CITY OF SOMERVILLE



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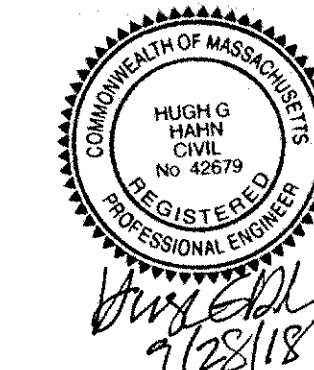
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Zoning Regulation Requirements	Required	Provided (Alta XMBLY)
MINIMUM LOT AREA	20,000 SF	1.7 Acres
FRONT YARD SETBACK	0 Feet	3.08 Feet
SIDE YARD SETBACK	0 Feet	0.35 Feet
REAR YARD SETBACK	0 Feet	5.33 Feet
MAXIMUM FLOOR AREA RATIO	10.0	3.96
MAXIMUM BUILDING HEIGHT WITHIN 1,000' OF MBTA ENTRANCE	250 Feet	84'-11"
MAXIMUM BUILDING HEIGHT BEYOND 1,000' OF MBTA ENTRANCE	125 Feet	84'-11"
MINIMUM OPEN SPACE	25.0 %	37.0 %
USEABLE OPEN SPACE	12.5 %	17.2 %

RESIDENTIAL:	0 - 30 BEDS	(0)	= 3
	31 - 100 BEDS	(1)	
	EACH ADDL. 100 BEDS	(1)	
RETAIL:	0 - 5,000 SF	(0)	= 0
	5,001 - 20,000 SF	(1)	
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
TOTAL LOADING REQUIRED =			3
TOTAL LOADING PROVIDED =			1

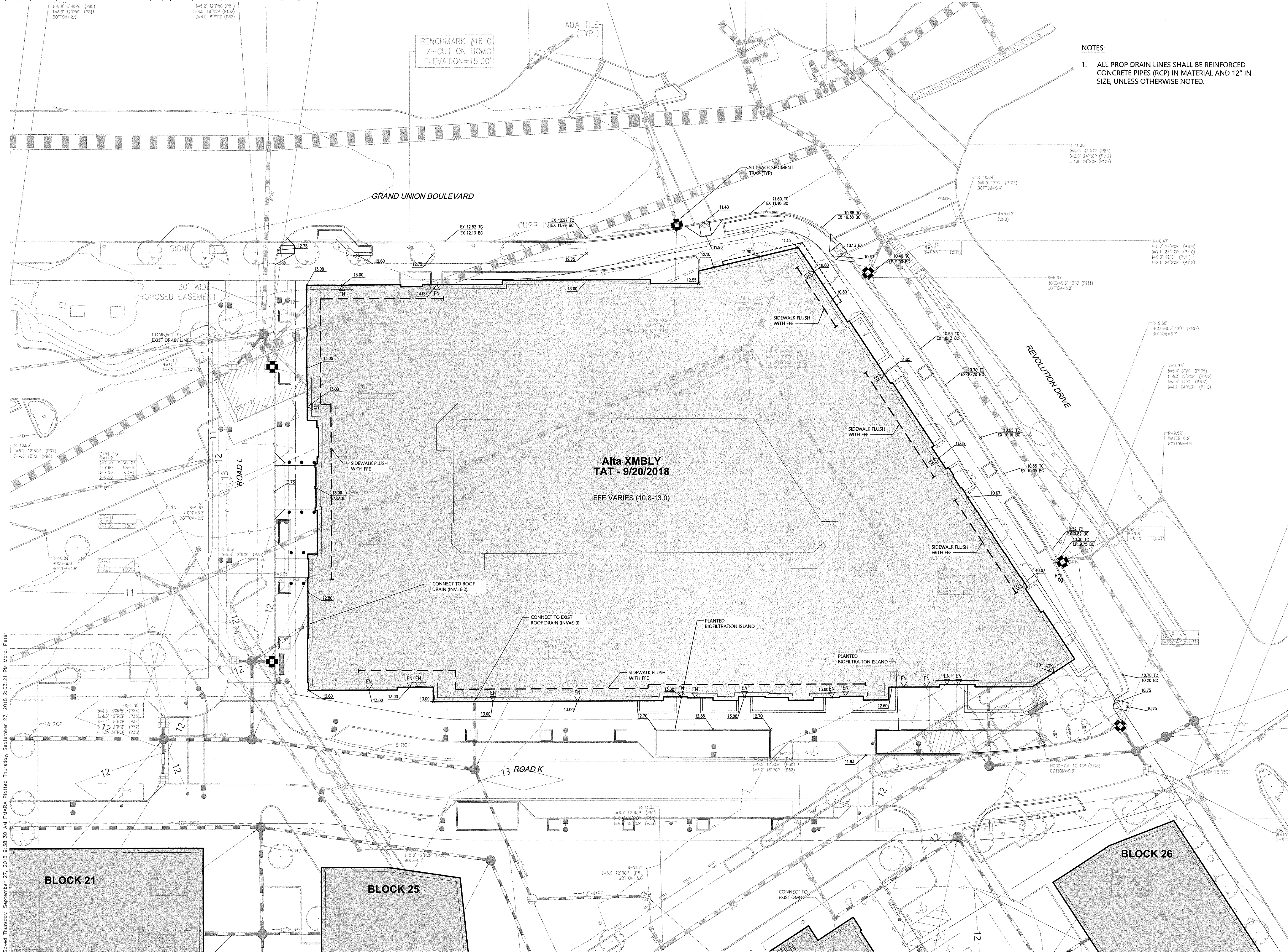
Layout and Materials Plan



C-4

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14000.01

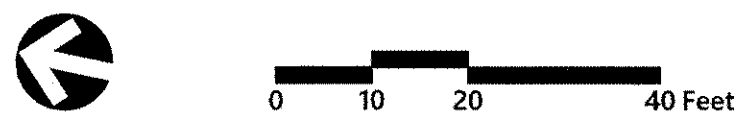


NOTES:
1. ALL PROP DRAIN LINES SHALL BE REINFORCED CONCRETE PIPES (RCP) IN MATERIAL AND 12" IN SIZE, UNLESS OTHERWISE NOTED.



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Drawing Title


Grading, Drainage, and Erosion Control Plan

Drawing Number

C-5

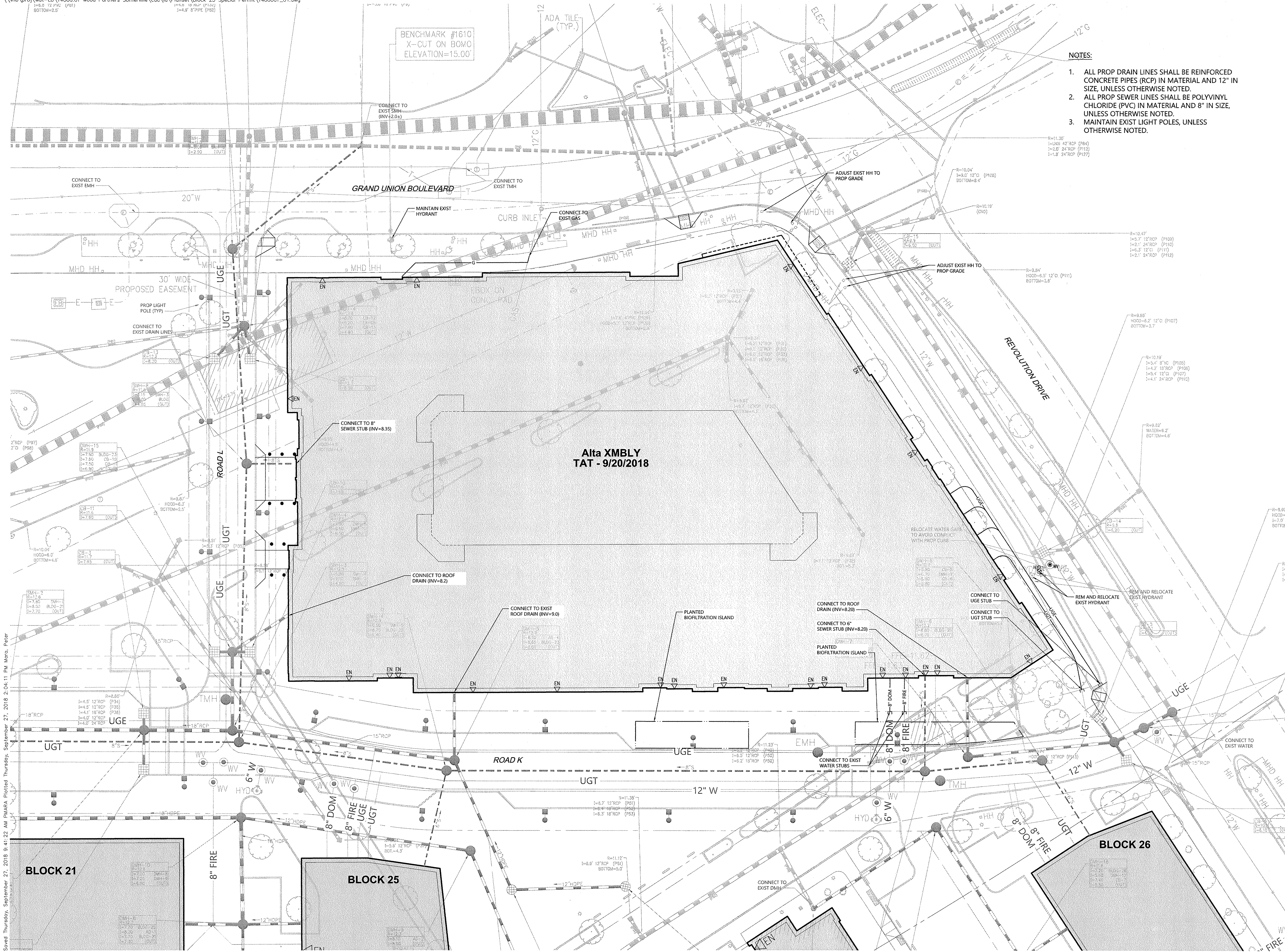
Sheet 05 of 08

Project Number
14000.01



Hugh O. Mann
9/28/18

9/28/18



NOTES:

1. ALL PROP DRAIN LINES SHALL BE REINFORCED CONCRETE PIPES (RCP) IN MATERIAL AND 12" IN SIZE, UNLESS OTHERWISE NOTED.
2. ALL PROP SEWER LINES SHALL BE POLYVINYL CHLORIDE (PVC) IN MATERIAL AND 8" IN SIZE, UNLESS OTHERWISE NOTED.
3. MAINTAIN EXIST LIGHT POLES, UNLESS OTHERWISE NOTED.



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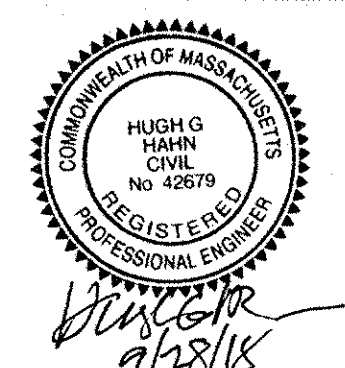
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Utility Plan

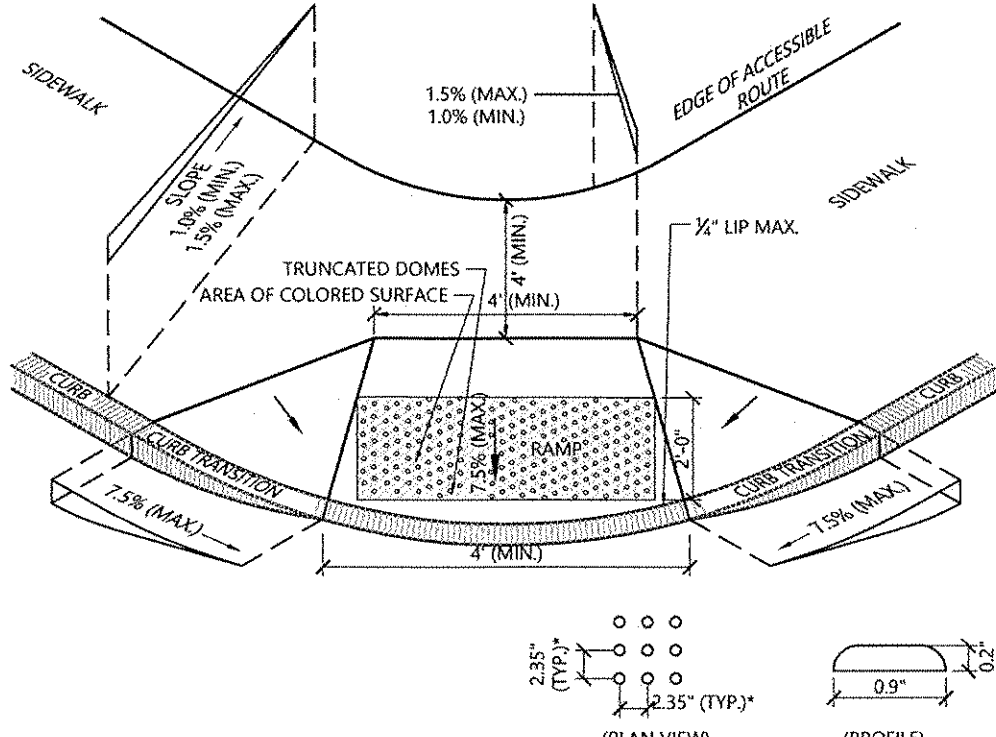
Drawing Number: **C-6**

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Project Number: **14000.01**



Hush G. Harris
9/28/18

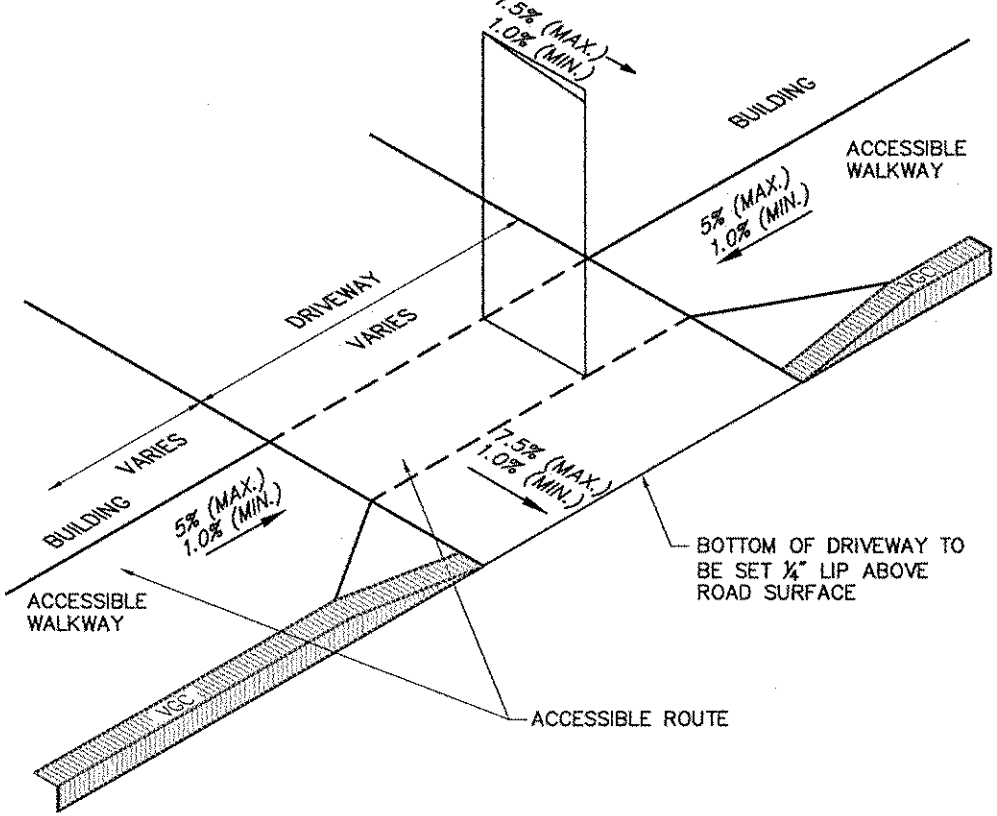


NOTES

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ADJUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb Ramp (ACR) Type 'E-D'

N.T.S. Source: VHB 1/16 LD_504

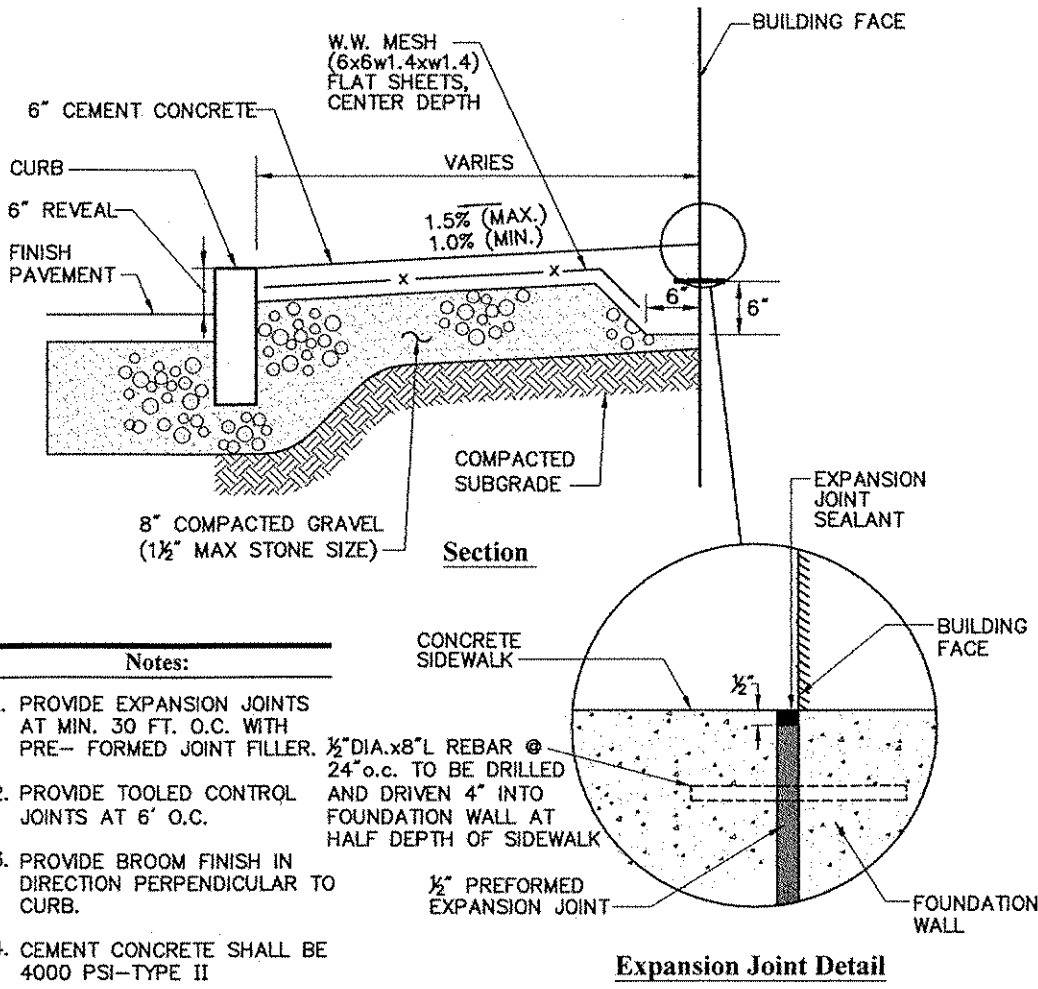


Notes:

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
3. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.

Driveway Apron with Sidewalk

N.T.S. Source: VHB 12/04 LD_504

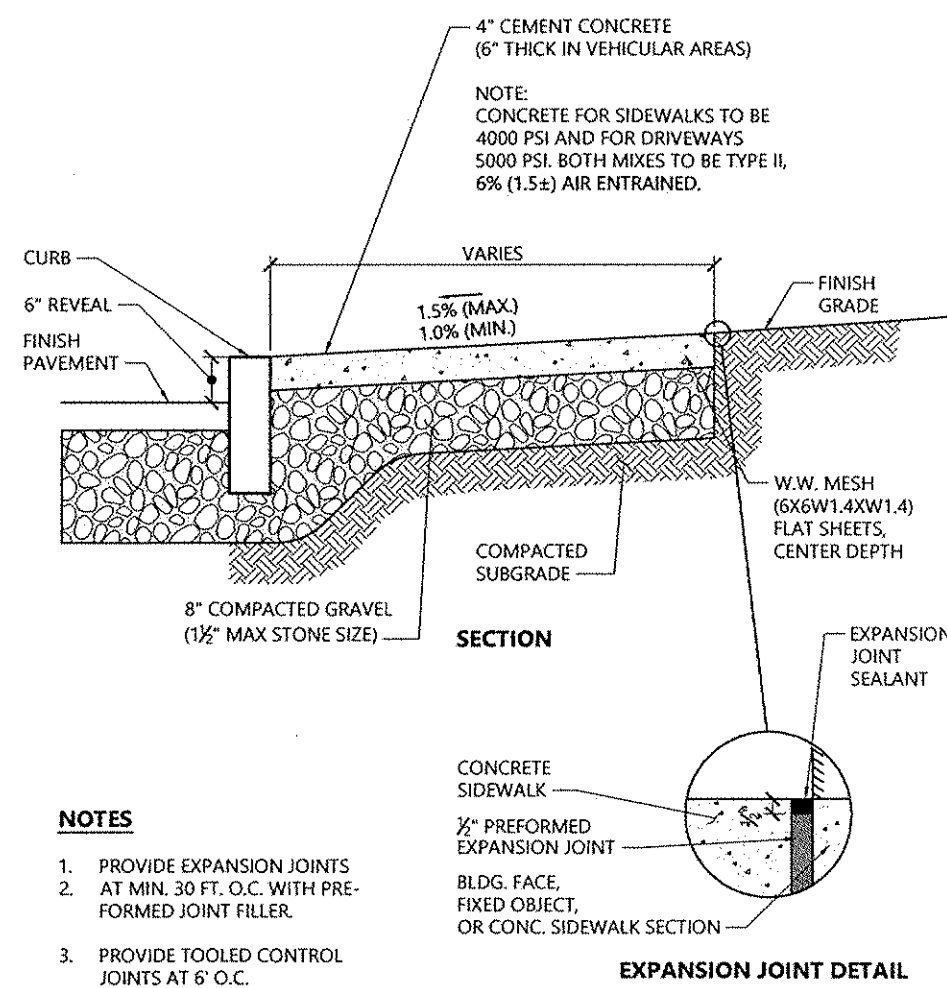


Notes:

1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
2. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
4. CEMENT CONCRETE SHALL BE 4000 PSI-TYPE II

Concrete Sidewalk at Building Face

N.T.S. Source: VHB 6/08 LD_420

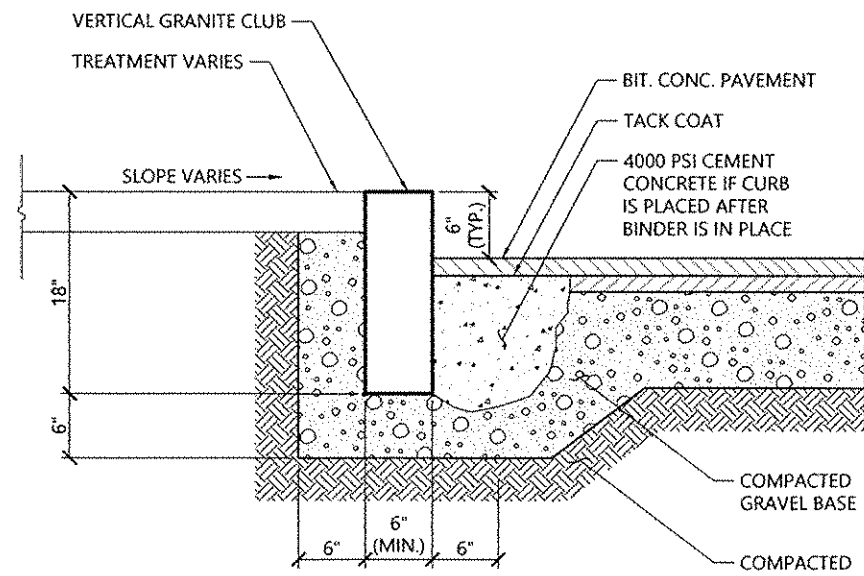


NOTES

1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
2. AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
3. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

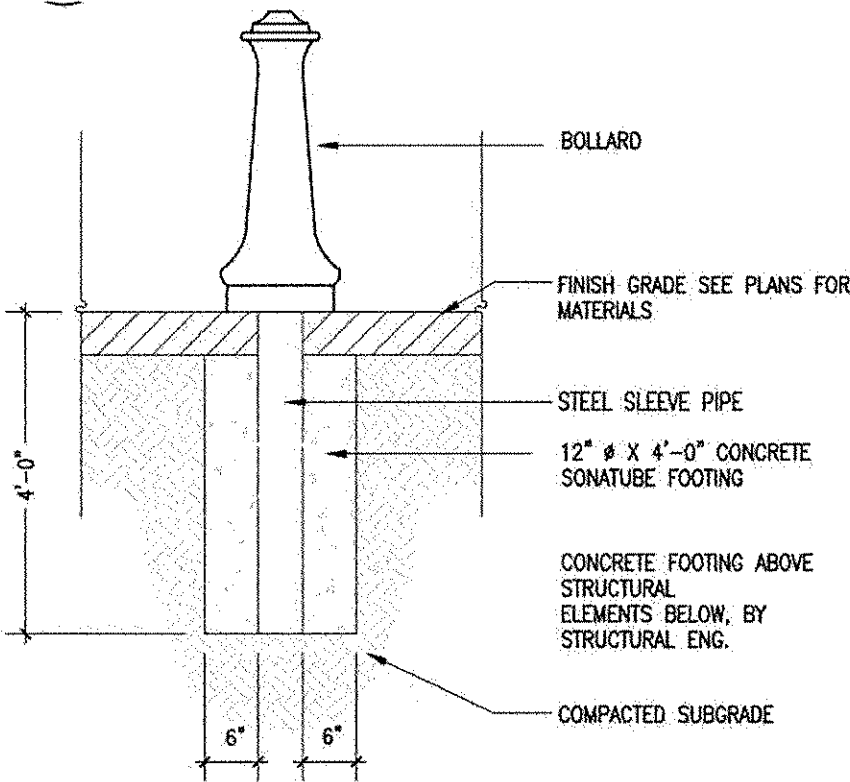
Concrete Sidewalk

N.T.S. Source: VHB 1/16 LD_420



Vertical Granite Curb (VGC)

N.T.S. Source: VHB 1/16 LD_402

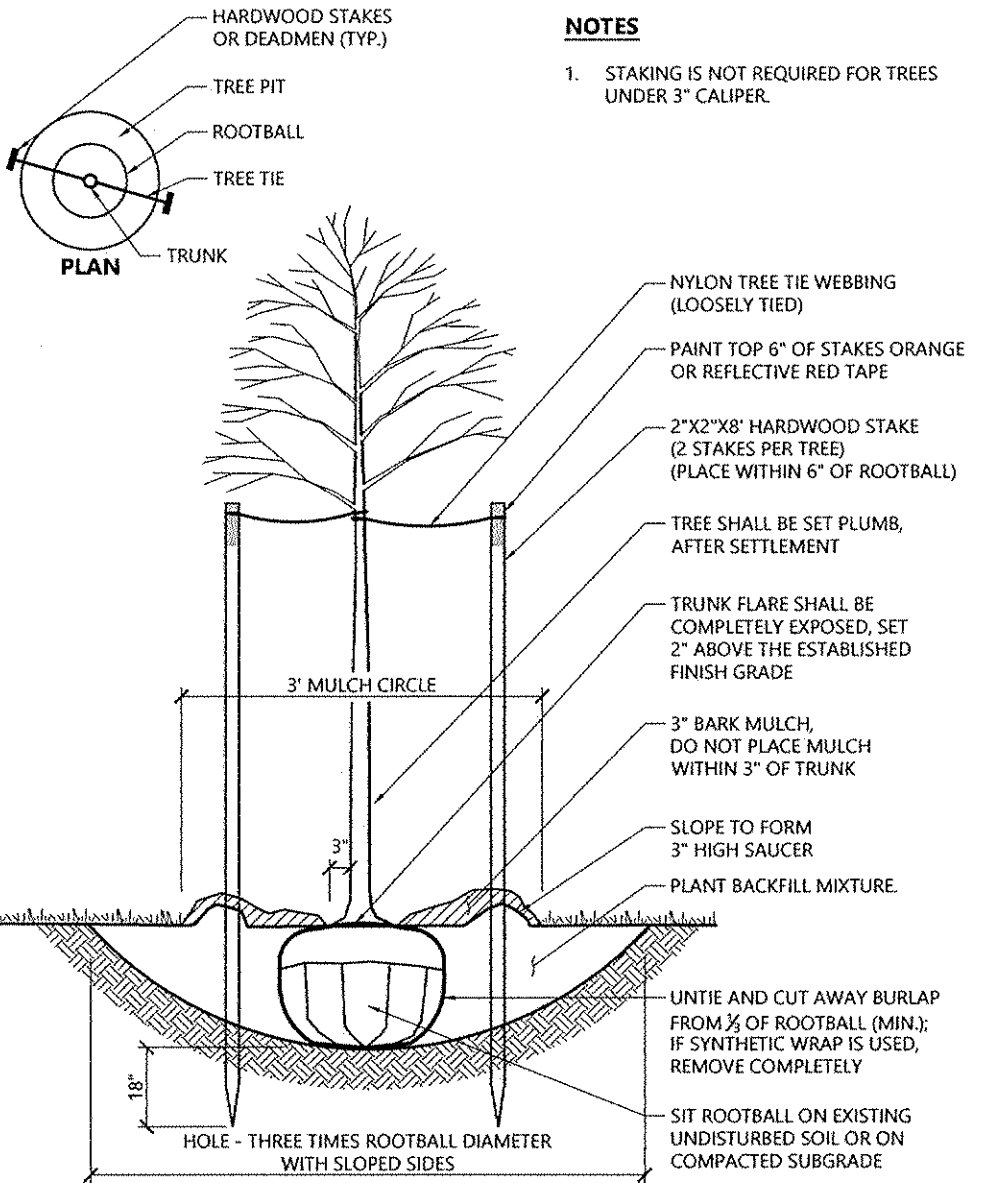


Notes:

DECORATIVE BOLLARDS TO BE MANUFACTURED BY FAIRWEATHER SITE FURNISHINGS, MODEL B-88 SERIES (OR OWNER/ARCHITECT APPROVED EQUIVALENT), WITH A POWDERCOAT FINISH, COLOR TO BE BLACK, AND HAVE AN EMBEDDED MOUNT.

Decorative Bollard

N.T.S. Source: VHB

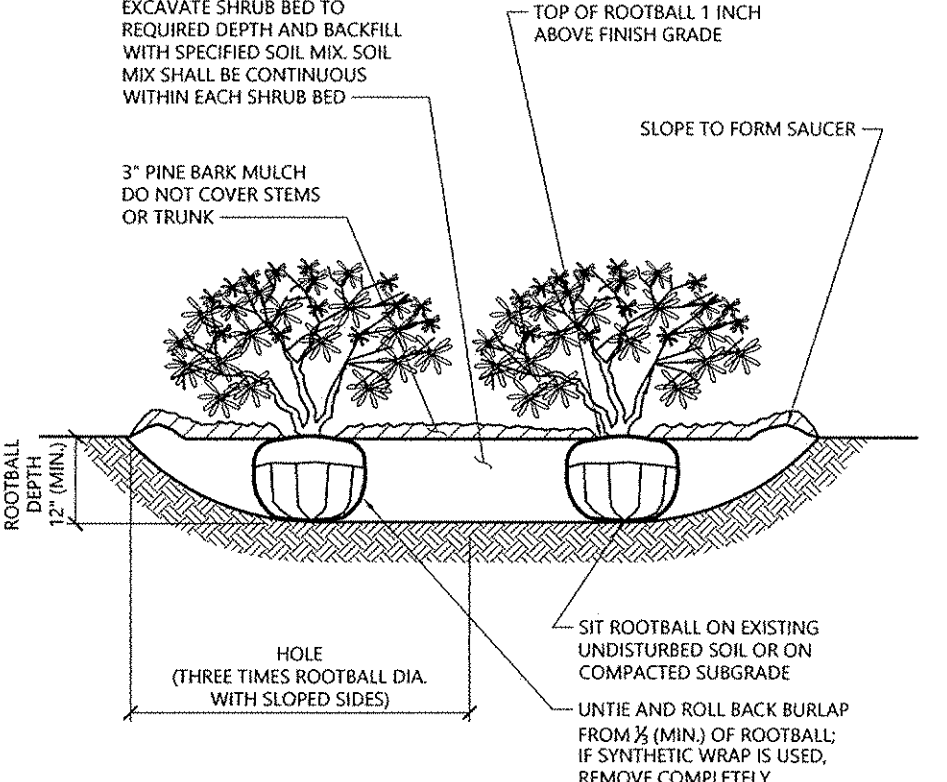


NOTES

1. STAKING IS NOT REQUIRED FOR TREES UNDER 3" CALIPER.

Tree Planting (For Trees Under 4" Caliper)

N.T.S. Source: VHB 1/16 LD_602



NOTES

1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting

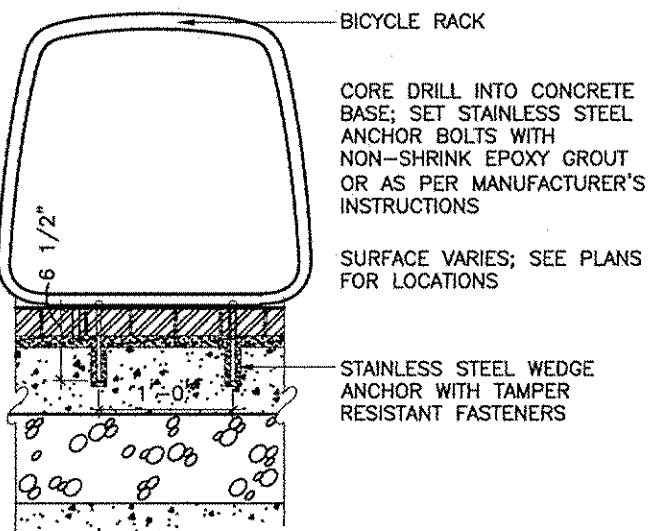
N.T.S. Source: VHB 1/16 LD_601

PROPOSED FULL DEPTH PAVEMENT

- SURFACE:** 4" HOT MIX ASPHALT
2" SURFACE COURSE TYPE B OVER 2" INTERMEDIATE COURSE TYPE B).
- SUB-BASE:** 4" HOT MIX ASPHALT BASE COURSE MATERIAL PLACED IN ONE COURSE.
- BASE:** 4" DENSE GRADED CRUSHED STONE FOR SUB-BASE OVER 8" GRAVEL BORROW, TYPE B.
- BITUMEN FOR TACK COAT (OS-1) AT 0.05 GAL/SY OVER BASE AND BINDER COURSES

Bituminous Concrete Pavement Section

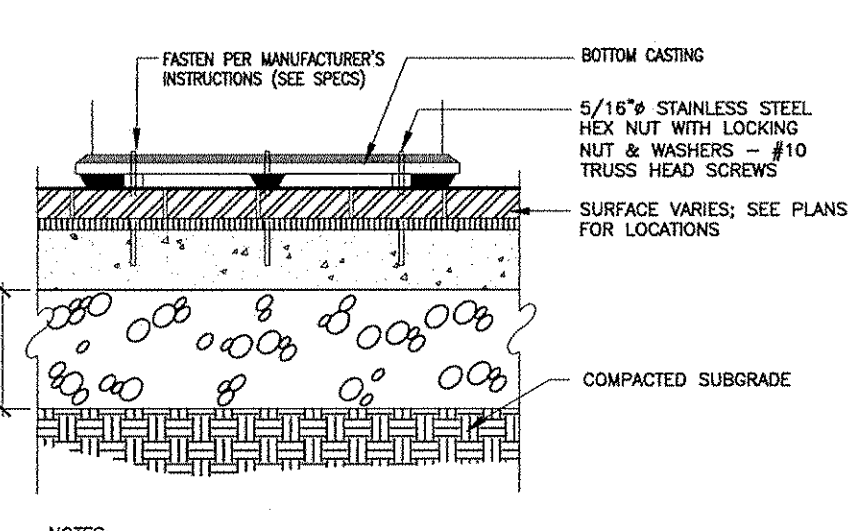
N.T.S. Source: VHB 9/16



1. OWNER TO SELECT MANUFACTURER AND PURCHASE BICYCLE RACK.
2. THE LOCATION OF SITE FURNITURE SHALL BE STAKED IN THE FIELD AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

BICYCLE RACK MOUNTING

SCALE: 1" = 1'-0"

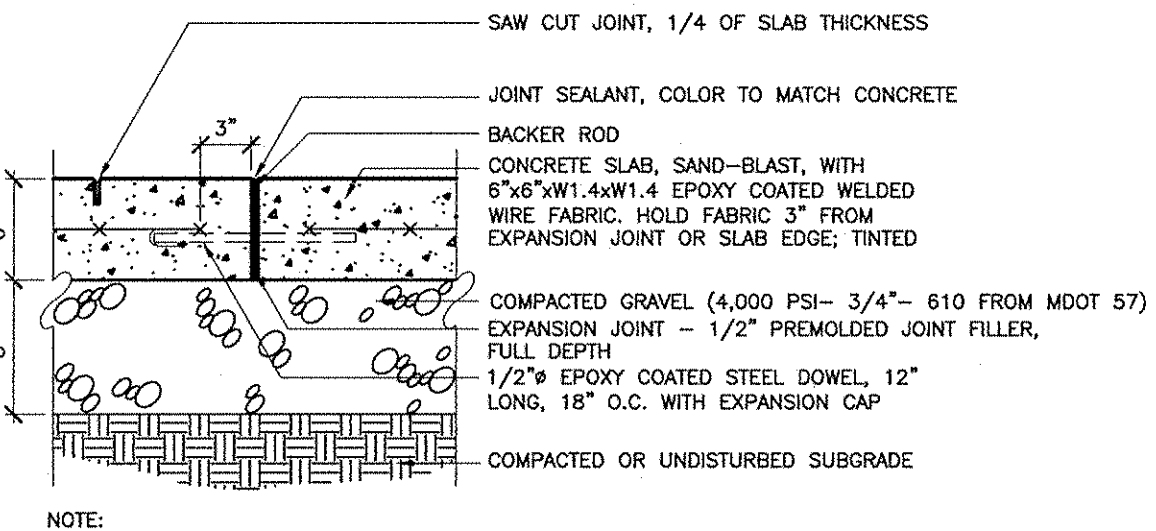


NOTES:

1. BENCH MANUFACTURER TO PROVIDE ANCHOR TEMPLATE TO CONTRACTOR.
2. OWNER TO SELECT MANUFACTURER AND PURCHASE TRASH RECEPTACLE.
3. THE LOCATION OF SITE FURNITURE SHALL BE STAKED IN THE FIELD AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

TRASH RECEPTACLE MOUNTING

SCALE: 1-1/2" = 1'-0"

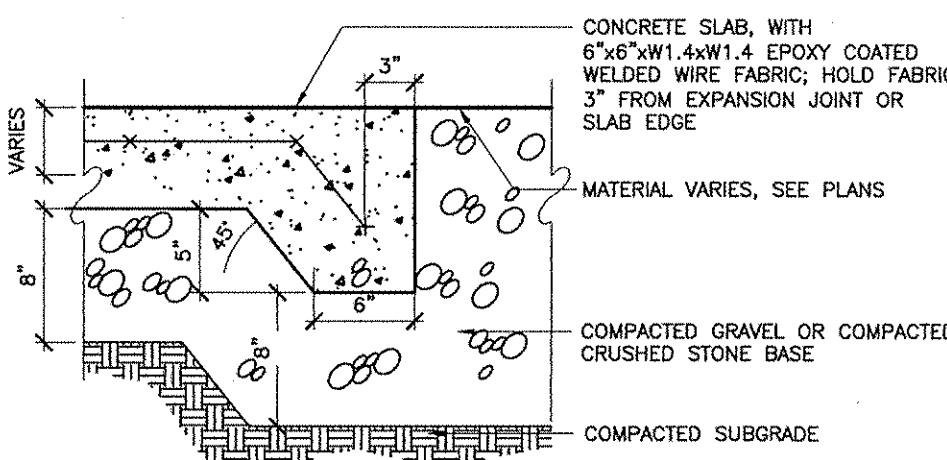


NOTES:

1. CONTROL JOINTS EVERY 5' O.C. UNLESS OTHERWISE SHOWN ON PLAN.
2. EXPANSION JOINTS EVERY 20' O.C. UNLESS OTHERWISE SHOWN ON PLAN.
3. WHERE NEW CONCRETE MEETS EXISTING CONCRETE, CORE DRILL EXISTING CONCRETE TO RECEIVE STEEL DOWEL.

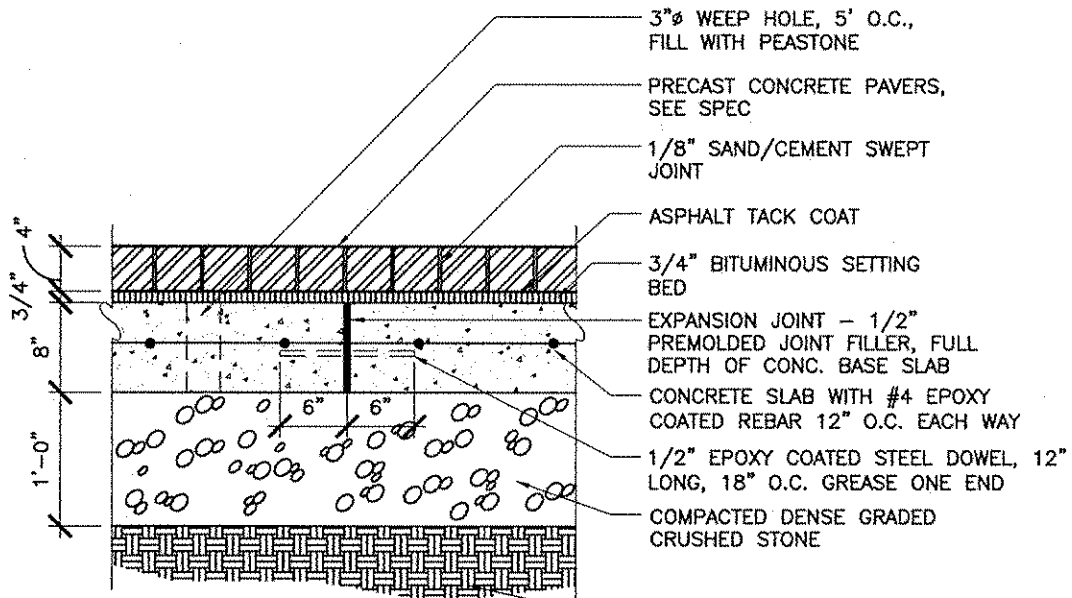
6" CONCRETE PAVEMENT

SCALE: 1-1/2" = 1'-0"



CONCRETE PAVEMENT THICKENED EDGE

SCALE: 1-1/2" = 1'-0"



NOTE:

1. EXPANSION JOINT EVERY 20'-0" O.C. OR AS SHOWN ON THE DRAWINGS.

UNIT PAVERS ON VEHICULAR BASE

SCALE: 1" = 1'-0"

Alta XMBLY

290 Revolution Drive
Somerville, Massachusetts

No. Revision Date Appd.

Designed by Checked by

Issued for Date

Local Approvals September 28, 2018

Not Approved for Construction

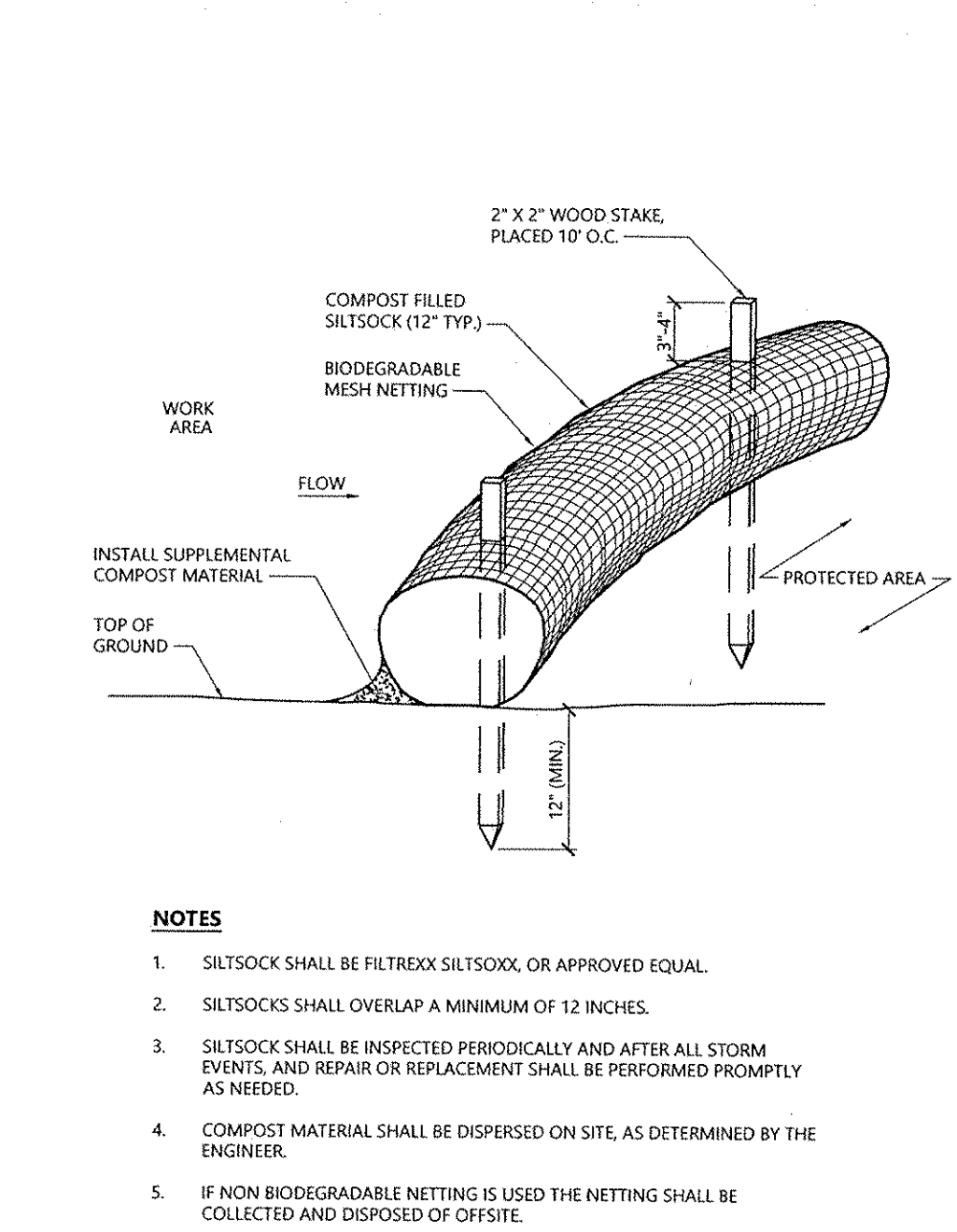
Site Details



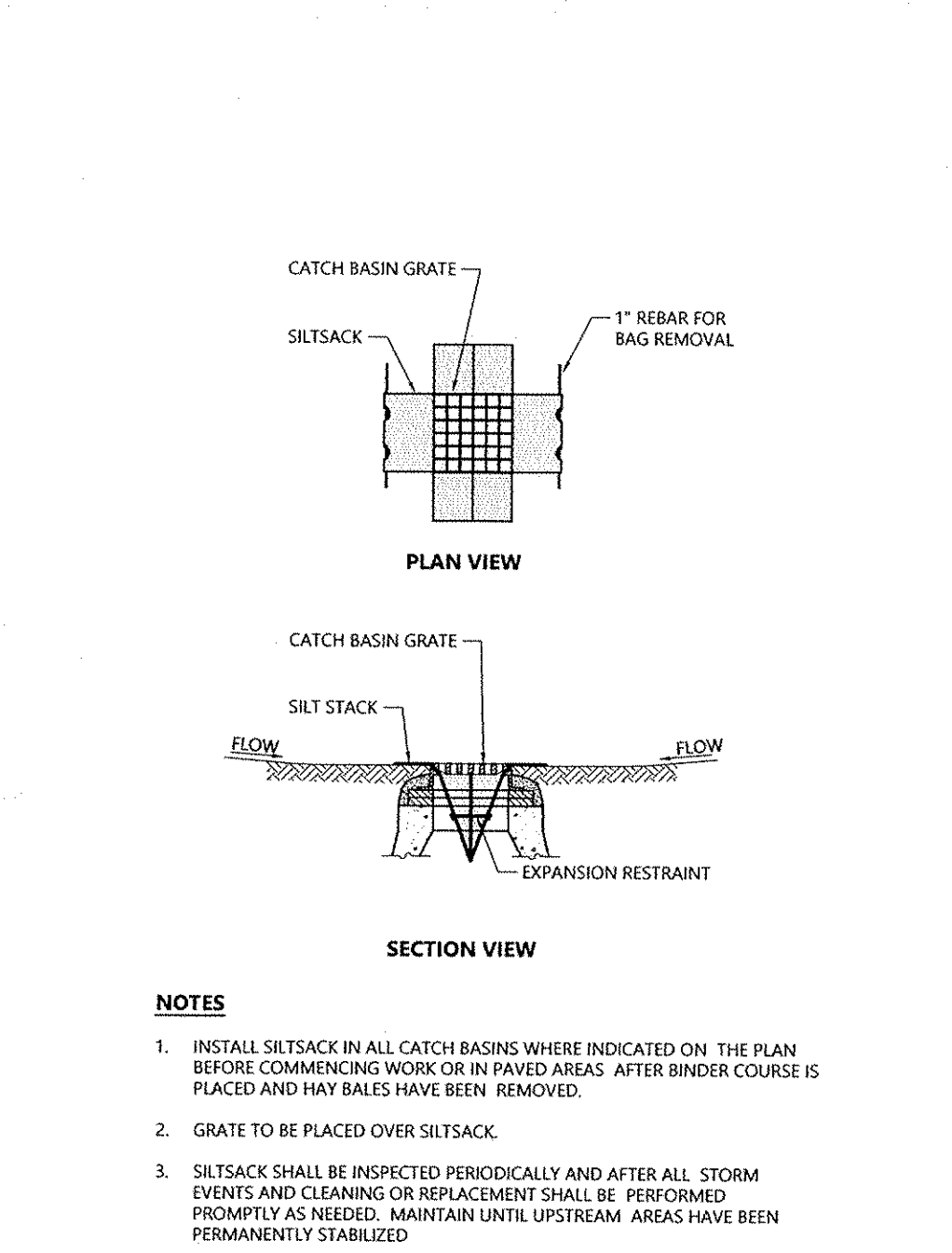
C-7

Sheet 07 of 08

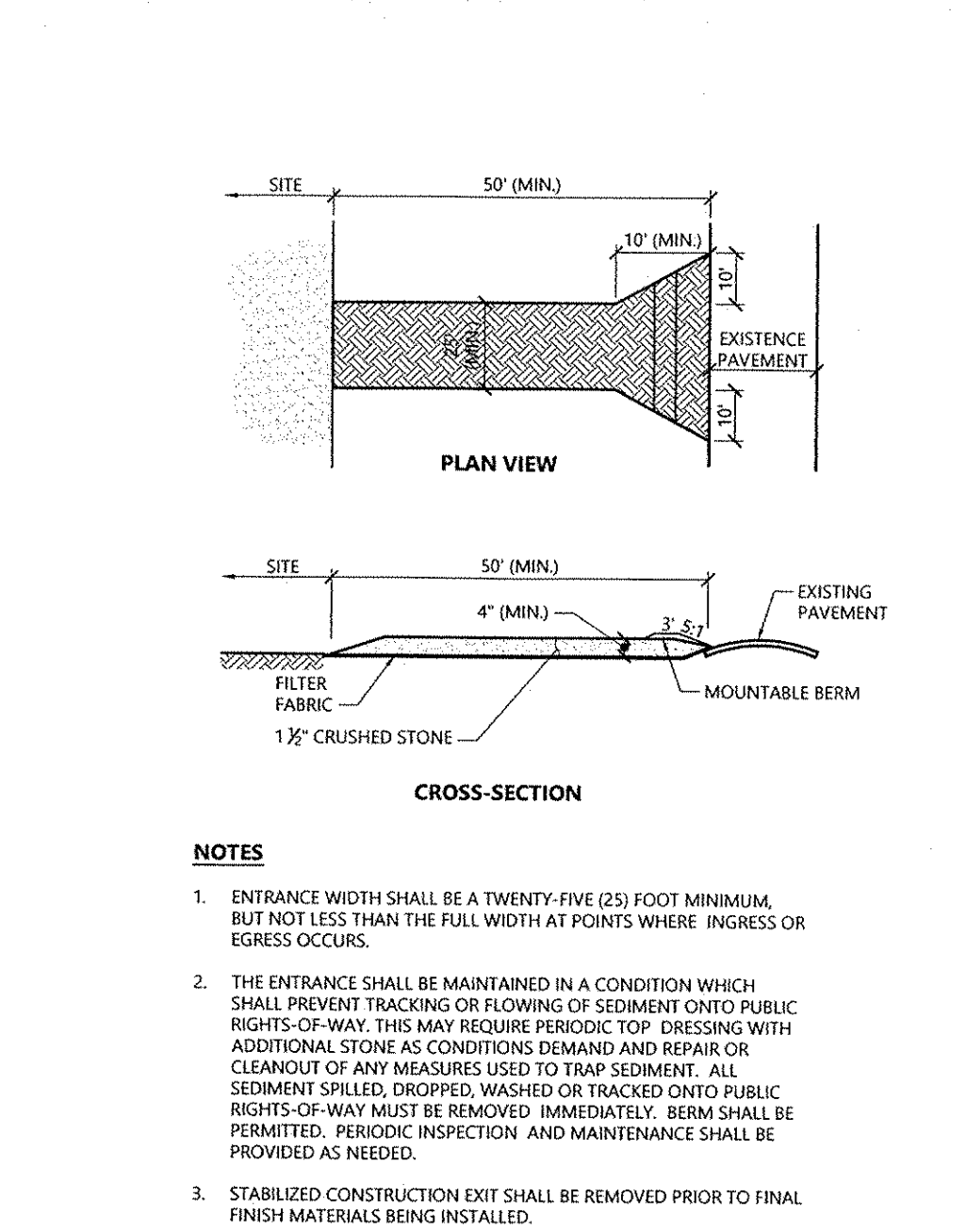
Project Number
14000.01



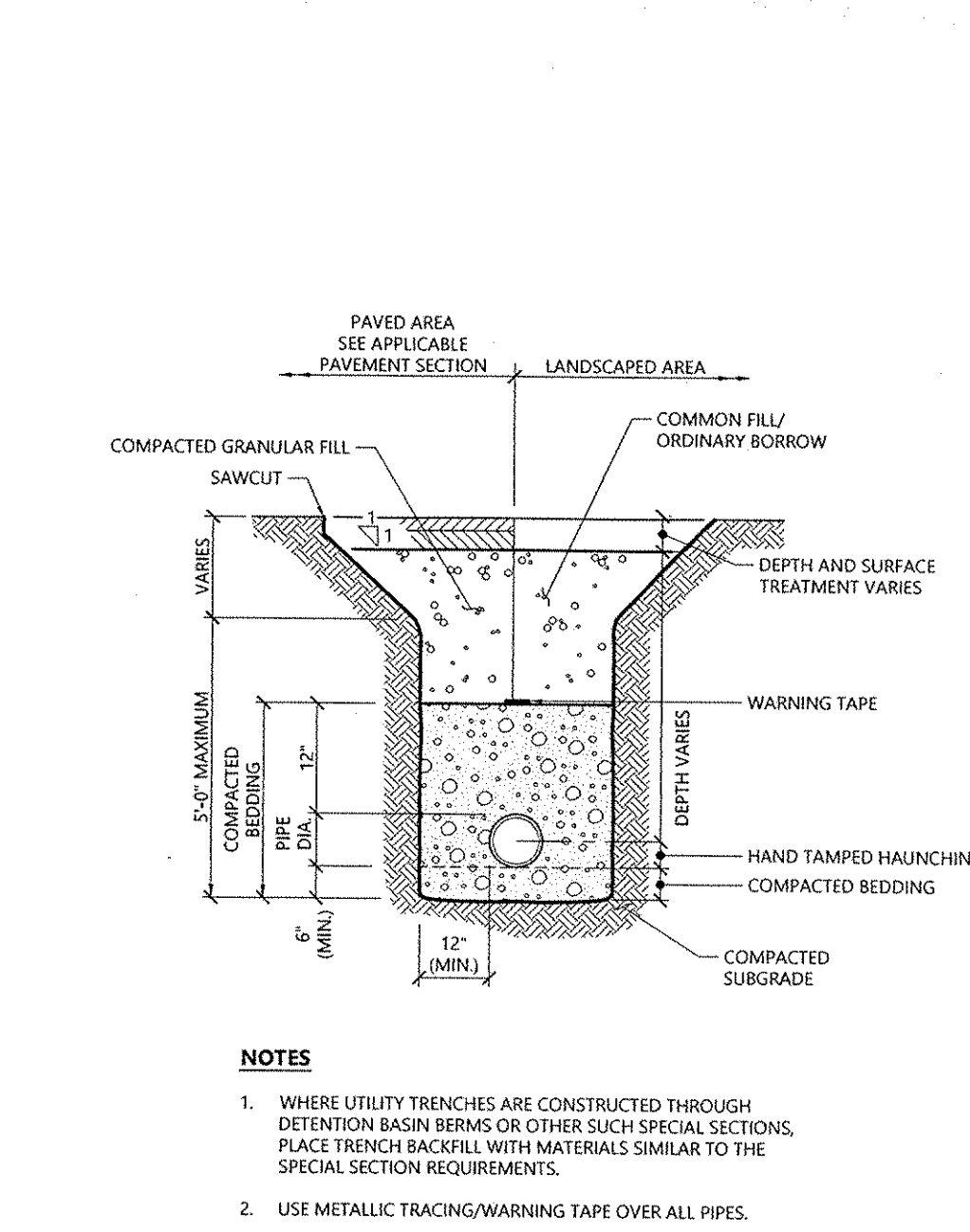
Siltsock - Erosion Control Barrier 1/16
N.T.S. Source: VHB LD_658



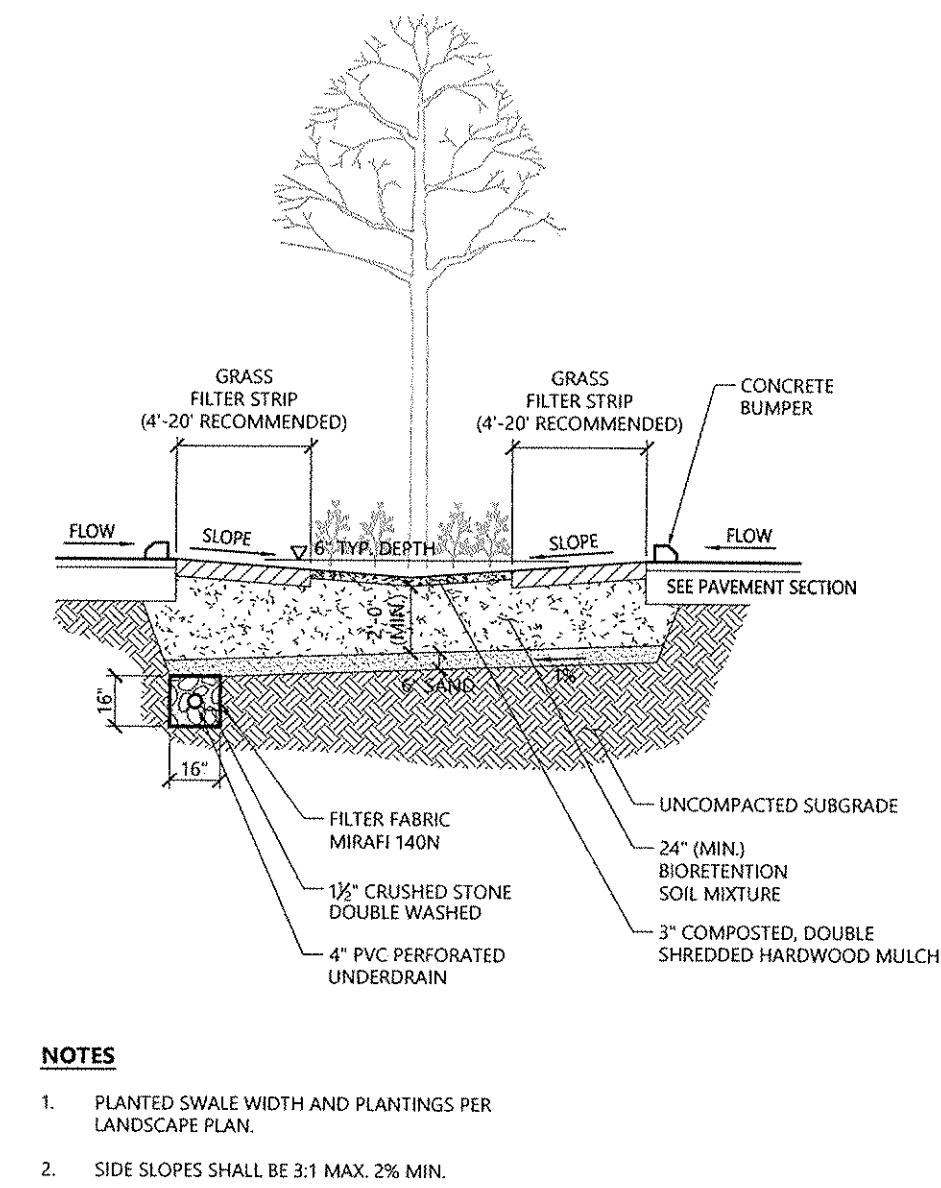
Siltsock Sediment Trap 1/16
N.T.S. Source: VHB LD_674



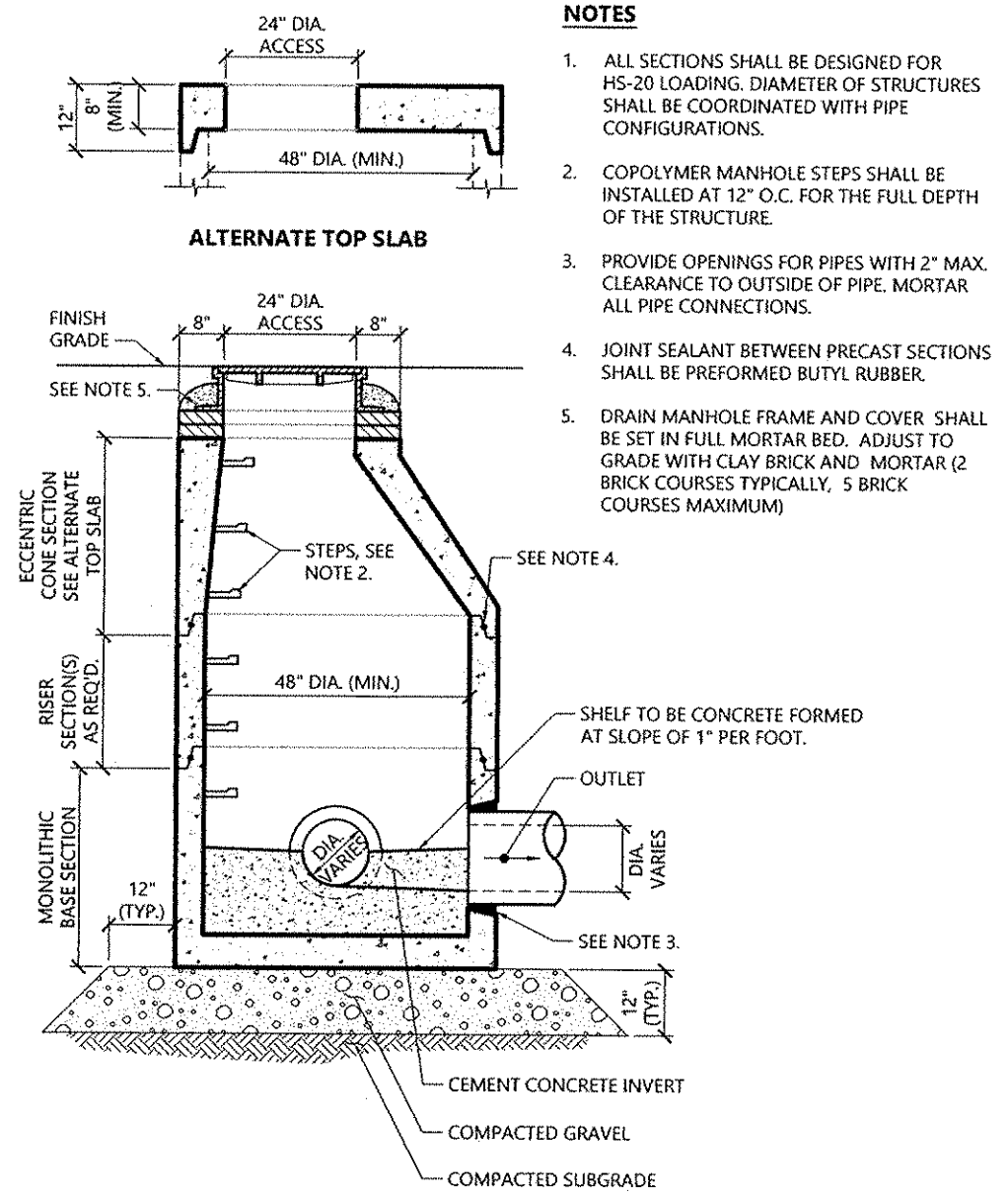
Stabilized Construction Exit 1/16
N.T.S. Source: VHB LD_682



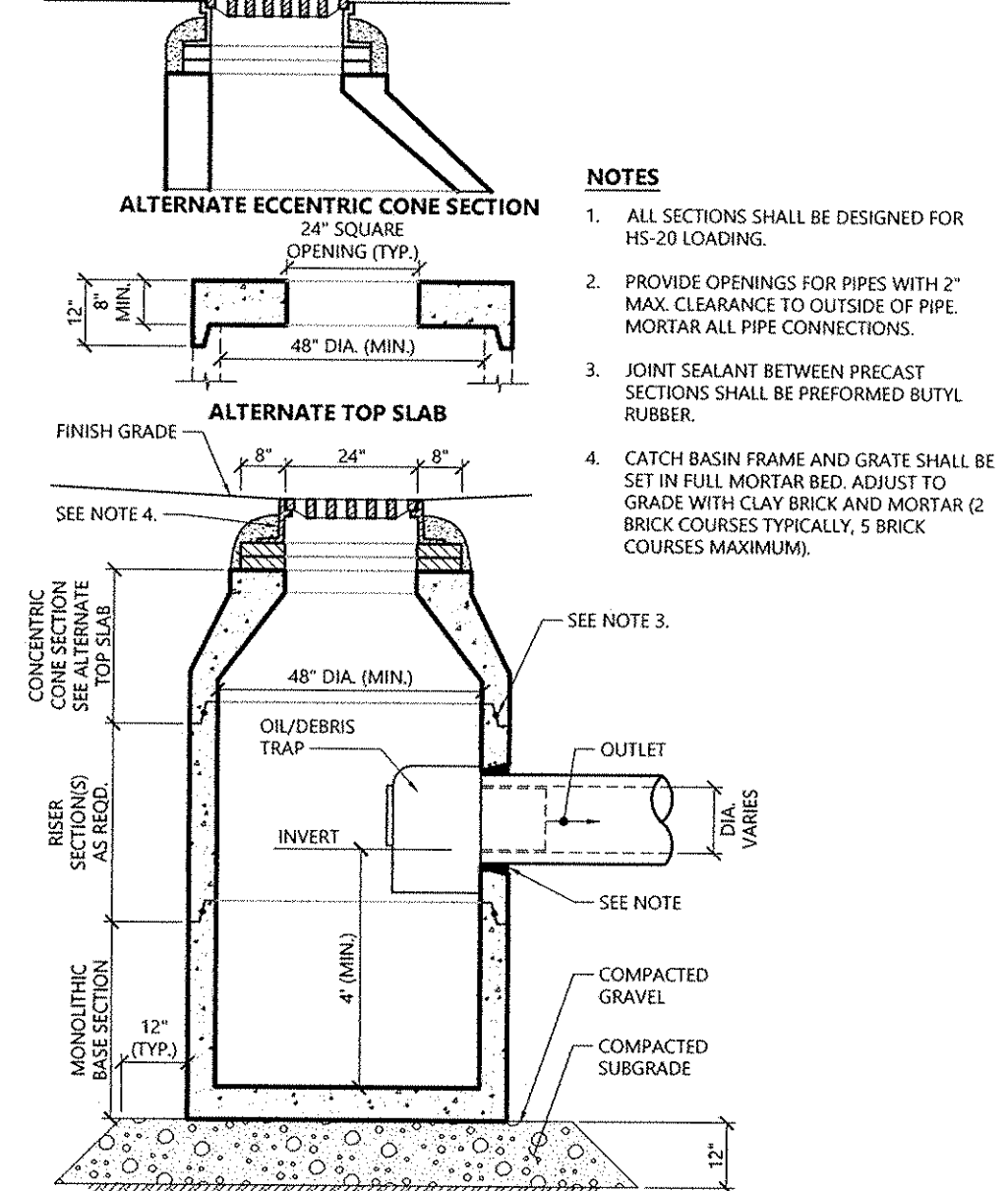
Utility Trench 1/16
N.T.S. Source: VHB LD_300



Planted Biofiltration Island with Underdrain 1/16
N.T.S. Source: VHB LD_357



Drain Manhole (DMH) 1/16
N.T.S. Source: VHB LD_115
(FOR REFERENCE ONLY)

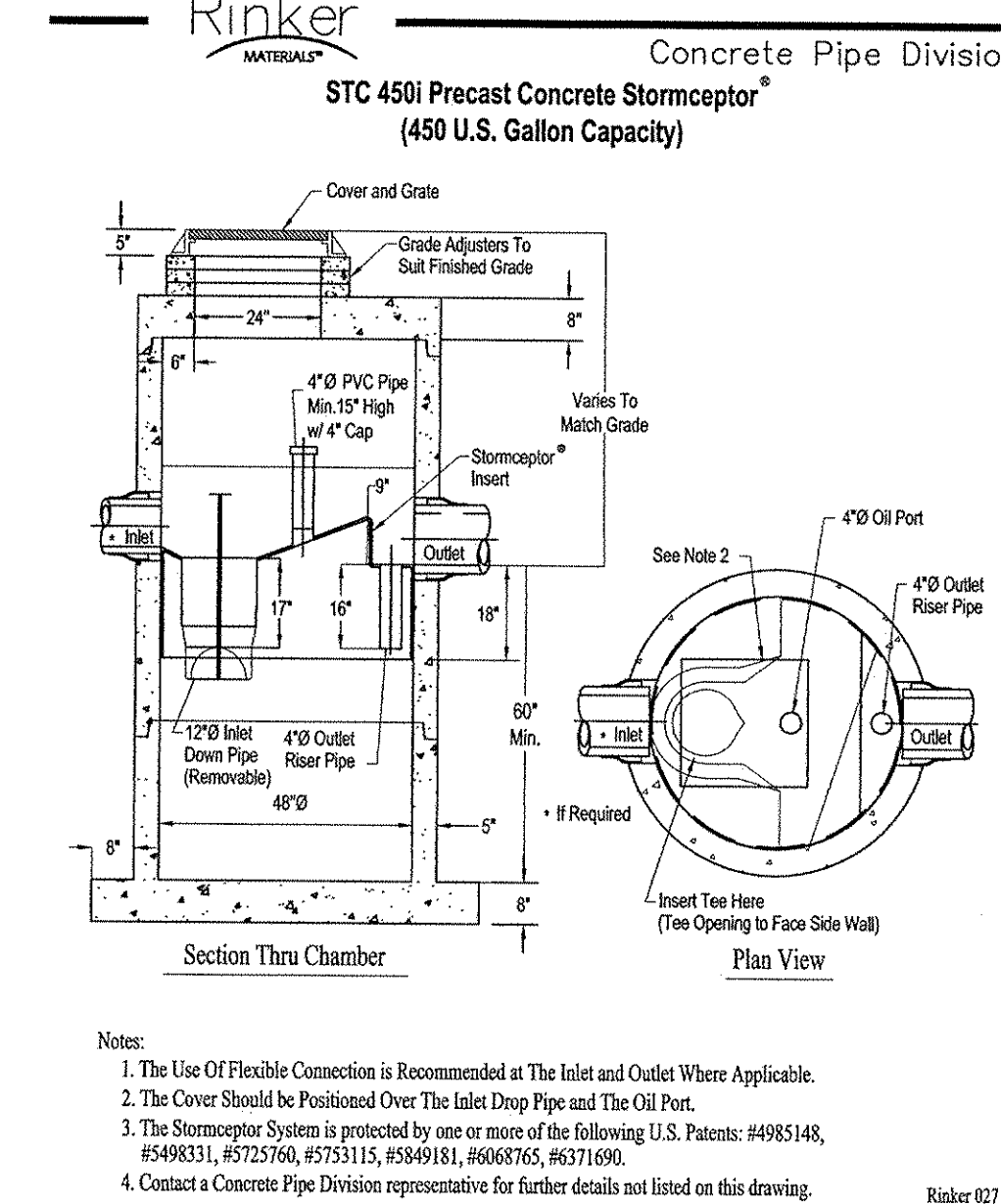


Catch Basin (CB) With Oil/Debris Trap 1/16
N.T.S. Source: VHB LD_101
(FOR REFERENCE ONLY)

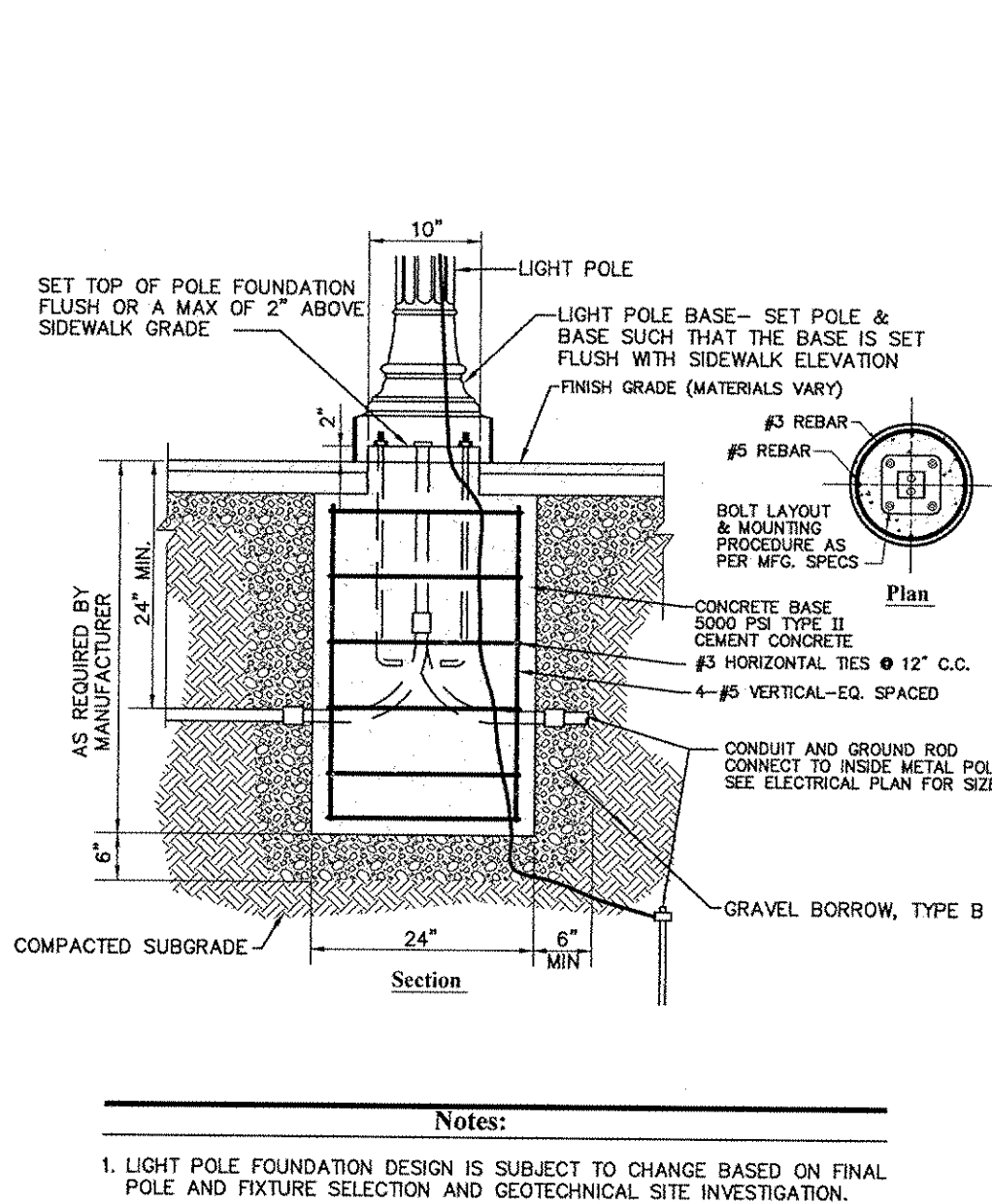
TABLE OF DIMENSIONS												
BENDS	B	C	D	E	F	BENDS	B	C	D	E	F	
6\"	11 1/4\"	8\"	15\"	12\"	24\"	12\"	6\"	45\"	8\"	30\"	12\"	24\" 14\"
6\"	22 1/2\"	-	19\"	-	13\"	6\"	90\"	-	30\"	-	-	27\"
8\"	11 1/4\"	-	20\"	-	12\"	8\"	45\"	-	30\"	-	-	24\"
8\"	22 1/2\"	-	22\"	-	17\"	8\"	90\"	-	38\"	-	-	36\"
12\"	11 1/4\"	-	30\"	-	15\"	12\"	45\"	-	40\"	-	-	40\"
12\"	22 1/2\"	-	35\"	-	25\"	12\"	90\"	-	60\"	-	-	52\"

TABLE OF DIMENSIONS												
TEES	G	H	I	J	TEES	G	H	I	J			
6\"	X6\"	X6\"	12\"	24\"	24\"	18\"	12\"	X12\"	X6\"	12\"	24\"	18\"
8\"	X8\"	X6\"	-	-	-	-	12\"	X12\"	X8\"	-	-	24\"
8\"	X8\"	X8\"	-	-	-	24\"	12\"	X12\"	X12\"	-	36\"	36\"

Concrete Thrust Block 1/16
N.T.S. Source: VHB LD_260



WQU - Stormceptor 450i (or Approved Equal) 1/16
N.T.S. Source: RINKER LD_102
(FOR REFERENCE ONLY)



Light Pole Foundation Detail 1/16
N.T.S. Source: VHB LD_260

101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Alta XMBLY
290 Revolution Drive
Somerville, Massachusetts

No.	Revision	Date	Appr.

Designed by: _____ Checked by: _____
Issued for: _____ Date: _____

Local Approvals September 28, 2018

Not Approved for Construction

Site Details

Drawing Number: **C-8**

Sheet 08 of 08























































Project Number: 14000.01

Legend

- ## General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER OF 2017 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN OCTOBER 2017.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NGVD OF 1929.
- 5) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 6) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.
- 7) PROPERTY LINES WITHIN THE PARCEL ARE PROPOSED AND ARE BASED ON LAND COURT CASE PLAN 11592M, WE COULD NOT LOCATE LAND COURT CASE PLAN 11592L.

- ### Legend

-  DRAIN MANHOLE
-  CATCH BASIN
-  SEWER MANHOLE
-  ELECTRIC MANHOLE
-  TELEPHONE MANHOLE
-  MANHOLE
-  ELECTRIC BOX
-  ELECTRIC PLUG BOX
-  WATER GATE
-  FIRE HYDRANT
-  GAS GATE
-  WATER IRRIGATION VALVE
-  BOLLARD w/LIGHT
-  PARKING METER
-  STREET LIGHT
-  STREET LIGHT SIGNAL
-  PEDESTRIAN LIGHT SIGNAL
-  LIGHT POLE
-  UTILITY POLE
-  GUY POLE
-  GUY WIRE
-  MONITORING WELL
-  FLOOD LIGHT
-  BOLLARD LIGHT
-  WELL
-  MARSH
-  DOOR/ENTRANCE
-  FINISHED FLOOR ELEVATION
-  COULD NOT OPEN
-  NO PIPES VISIBLE
-  ELEVATION UNKNOWN
-  DOUBLE YELLOW LINE
-  DASHED WHITE LINE
-  SINGLE WHITE LINE
-  LANDSCAPE AREA
-  EDGE OF PAVEMENT
-  CONCRETE CURB
-  VERTICAL GRANITE CURB
-  SLOPED GRANITE EDGE
-  BITUMINOUS BERM
-  BITUMINOUS CURB
-  WOOD GUARDRAIL
-  WOOD FENCE
-  CHAIN LINK FENCE
-  WROUGHT IRON FENCE
-  DRAINAGE LINE
-  SEWER LINE
-  OVERHEAD WIRE
-  UNDERGROUND ELECTRIC
-  TELEPHONE LINE
-  GAS LINE
-  WATER LINE
-  STONE WALL
-  TREE LINE

Project Title

5 Middlesex Avenue
Somerville, Massachusetts

[illegible]

Existing Conditions Plan of Land

Sv-1

Sheet 1 of 1

Project Number
14000.00

